



**ARCHITECTURAL REVIEW
COMMISSION AGENDA
MARCH 26, 2024
VETERAN'S CONFERENCE ROOM
CITY HALL, 205 SECOND AVENUE NW
1:00 PM
WWW.CITYOFMANDAN.COM**

The public may access the Zoom meeting online at:

Join Zoom Meeting

<https://us06web.zoom.us/j/86203603525?pwd=LCIfBN90PFybMdgHYgKbPncRuJz6O.1>

Meeting ID: 862 0360 3525

Dial :+1 312 626 6799

Passcode: 279142

A. ROLL CALL

1. Roll Call of Committee Members

B. MINUTES

1. Consider approval of February 13th MARC Minutes

C. OLD BUSINESS

D. NEW BUSINESS

1. Proposal for The Avalon at 1300 Colins Ave NE
2. Proposal by Richard Holmes for a new coffee shop located at 2701 Memorial Hwy SE

E. OTHER BUSINESS

F. UNFINISHED BUSINESS

G. ADJOURN

MARC Members

Architectural Review
Commission Agenda]
March 26, 2024
Page 2 of 2

Lee Pierce, ICON Architects - President
Victoria Vayda-Hammond - Vice President
Jordan Singer - Building Official
Jarek Wigness - City Engineer
Mitch Bitz - Fire Chief
Shane Weltikol - Resident
Jason Angel - Resident

Kendra Rennich - Resident
Logan Caldwell - Resident

Support Staff (City of Mandan)

Madison Cermak - Business Development
Andrew Stromme - City Planner

Please note: If any commission member would like additional information, please feel free to contact the Building Inspections Department at 667-3230 prior to the meeting.

A. ROLL CALL

1. *Roll Call for MARC Commission.*

Present: Lee Pierce, Victoria Vayda Hammond, Jordan Singer, Jarek Wigness, Shane Weltikol, and Jason Angel

Also in Attendance: Andrew Stromme, Johnathan Wagoner, Madison Cermak, Ken Solberg, Chris Sievert, Abe Ulmer, Jessie Brewer, Bill Aubrey.

B. OLD BUSINESS

C. NEW BUSINESS

1. *Proposal by Abe Ulmer for Eide Kia building addition located at 3334 Memorial Highway SE.* Ulmer stated that he and his team have submitted a variance for the setback, and that all approvals will be contingent on the 4 ft setback. Stromme shared this will go to the City Commission on March 19, 2024.

Stromme asked what would be done to the project to be sure that the building would be consistent with project materials. Ulmer explained that the Schmidt Auto building should be getting an update to follow the building materials. Stromme said that engineering may need to look at industrial setbacks. Stromme stated interior landscaping will be required. Right of way landscaping will need to be finished one year after the building is finished.

Stromme then asked if there would be any lighting changes to the building. Ulmer said the lighting should stay the same.

Jason H Asked : will these landscape requirements end up getting removed or altered during the strip project in the next couple of years? Singer shared that landscaping would not be affected by the memorial highway project.

Weltikol moved, and Vayda Hammond seconded to approve Eide Kia Project located at 3334 Memorial Highway SE, contingent on Schmidt Auto matching; landscaping approval, setback, and material being presented and approved by the Building Department.

Roll Call vote: Aye 6, Nay 0, Absent Caldwell, Rennich, Fire Chief Bitz. The motion passed.

2. *Proposal by Abe Ulmer for Solberg self storage facility Located at 4215 Old Red Trail.*

Ulmer explained there will be a lot of land filling to flatten out the site, and buildings will be built on a 1% side slope.

Stromme asked what kind of roof would be used. Ulmer and Brewer explained there are two types of roofing to consider: stepped roof or rolling roof. Upon showing this to the board, the board decided there was no preference defined. The applicant prefers to use the rolling roof.

Brewer explained that eventually a low profile sign will be installed that is 4-6 ft tall. He shared that lighting will be low on “light pollution.” Only having lights where they are necessary. These locations are on the storage units themselves, and one light over the keypad entry.

Weltikol moved, and Vayda Hammond seconded approval of Solberg self storage located at 4215 Old Red Trail, contingent on storm water, and water line extension approval Roll Call vote: Aye 6, Nay 0 None, Absent Caldwell, Rennich, Fire Chief Bitz. The motion passed.

3. *Proposal by Jordan Kizima for Update and new directional sign for Days Inn & Suites (Removed).*

D. MINUTES

1. *Approval of January 23rd meeting minutes.* Vayda Hammond moved, and Singer seconded to approve. Roll Call vote: Aye 6, Nay 0, Absent Caldwell, Rennich, Fire Chief Bitz. The motion passed.

E. OTHER BUSINESS

F. UNFINISHED BUSINESS

G. ADJOURN at 1:52 Pm



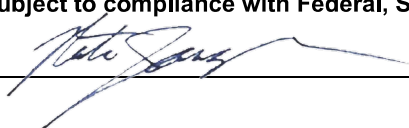
ARCHITECTURAL REVIEW COMMISSION APPLICATION

Applications need to be submitted to the Building Inspections Department no later than 12 p.m. (noon) on the Wednesday prior to the scheduled meeting at which consideration is desired. Digital submittals will be accepted. If paper copies are submitted a copy of the following information is required. They shall be no larger than 11 x 17 and need to have complete sets, drawn to scale. Incomplete applications will not be accepted. If you have any question call the Building Inspections department at 701-667-3230.

1. Description of Proposed Activity: Construction of 2-story 25 unit town home building with parking.
Construction of 2-story 25 unit town home building with parking.
2. Name of Owner: Domera Development, LLC - Nathan Joseph
Mailing Address 1954 Airport Road, Suite 151, Chamblee, GA 30341
Phone (Cell) (309) 696-0503 (Office) _____
3. Name of Architect if applicable: Hans Thomas & Associates, LLC - Christopher Clements
Mailing Address: 4741 Central Street Suite 1355, Kansas City, MO 64112
Phone (Cell) (816) 694-9254 (Office) _____
4. Name of Contractor: Door Creek Construction - Kevin Kadlec
Mailing Address: 2205 Kimberly Road, Bettendorf, IA 52722
Phone (Cell) (715) 891-0484 (Office) _____
5. Parcel Address: 1300 Collins Avenue
6. Legal Description:
Lot 2 (Less S 125') Block 1 Addition Highland 2nd Replat
Section 22 Township 139N Range 81W
7. Zoning: CA - Commercial
8. Special Purpose District: N/A
9. Existing Land Use: Undeveloped lot
10. Lot Size (Sq Ft) 55,551
Existing Bldg Area (Sq Ft) 0
Proposed Bldg Area (Sq Ft) 20,930
11. Estimated Cost of Project: \$5.1 Million
➤ Is this project receiving incentives from the City of Mandan? Yes X No _____
If you are receiving incentives please indicate which programs have been applied for.
City of Mandan Growth Fund

I understand the procedures for Architectural Review and have received the checklist (see attached sheet) to be followed for approval as set forth in Chapter 111-1 of the Mandan City Code.

Approvals are subject to compliance with Federal, State and Local regulations.

Applicant:  Date: 03/20/2024



CHECK LIST FOR ARCHITECTURAL REVIEW COMMISSION APPLICATION

Applications need to be submitted to the Building Inspections Department no later than 12 p.m. (noon) on the Wednesday prior to the scheduled meeting at which consideration is desired. Digital submittals will be accepted. If paper copies are submitted ten (10) copies of the following information are required. Eight (8) copies shall be no larger than 11 x 17 and two copies shall be complete sets, drawn to scale. Incomplete applications will not be accepted. If you have any question call the Building Inspections department at 701-667-3230.

A. Plot Plan - Drawn to Scale

- X 1. Boundaries-Indicate North Arrow
- X 2. Road(s) fronted upon
- X 3. Utility lines or easements-existing and planned
- X 4. Major topographic features-existing and planned-drainage
- X 5. Landscaping and major vegetative cover-existing and planned
- X 6. Location of structure(s) on site; existing and proposed
 - a. Includes dimensions
 - b. Includes set back distances
 - c. Includes exterior security and area lighting, fire hydrants (must indicate if 350 feet or less from proposed project), etc.
 - d. Dumpsters and screen walls
- X 7. Vehicular and pedestrian plans.
 - a. Parking. Include number of spaces including handicapped parking, location, hard surfacing, etc.
- X 8. Signage

B. Photos and/or Samples of Proposed Building Exterior, Including Exterior Colors

C. Elevation Architectural Plans to Scale

- X 1. Elevation drawings to include ALL sides.

D. Two Copies of the Storm Water Management Systems. This must be certified by an engineer. If not applicable, submit in writing why you think it should not affect the existing system.

E. The owner, whenever possible, and the contractor or a representative needs to be present at the scheduled meeting.

Note: If your project is for exterior improvements to a building with no additions, driveway, sidewalk, landscaping, or grading to the lot only the information in sections B and C are required. Incomplete applications will not be accepted.

The Architectural Review Board has a regularly scheduled meeting every 2nd and 4th Tuesday at 1 p.m. in City Hall. Applications may be accepted and/or scheduled up to the prior Wednesday at 12 p.m. (noon).

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AVALON AT MANDAN
1300 COLLINS AVE
MANDAN, ND

PRELIMINARY -
NOT FOR CONSTRUCTION

HANS R. THOMAS, ARCHITECT

REVISIONS

DATE: 03.19.24

SHEET NO.

BUILDING
ELEVATIONS

E1

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3	NORTH ELEVATION - SOUTHERN UNITS
	1" = 10'-0"



2	SOUTH ELEVATION - NORTHERN UNITS
	1" = 10'-0"

FINISH SELECTION:

ROOF: GAF TIMBERLINE HDZ - PEWTER FINISH
COMPOSITE SIDING: SW9149 - INKY BLUE
LEDGERSTONE: NORSE BP - WASATCH MOUNTAIN STACK
ALL TRIM SHALL BE SW7005 - EXTRA WHITE
ALL WINDOWS SHALL BE WHITE



1 WEST (FRONT) ELEVATION		
C	1" = 10'-0"	B

BUILDING FINISHES:

ARCHITECTURAL ASPHALT SHINGLES, COMPOSITE SIDING & TRIM. LEDGERSTONE MASONRY AT MAIN LEVEL UNIT ENTRIES.

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HANS R. THOMAS, ARCHITECT
#

REVISIONS

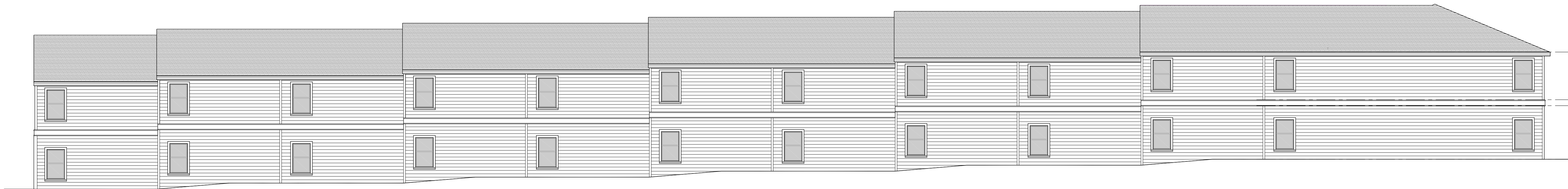
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SHEET NO.

BUILDING
ELEVATIONS

E2

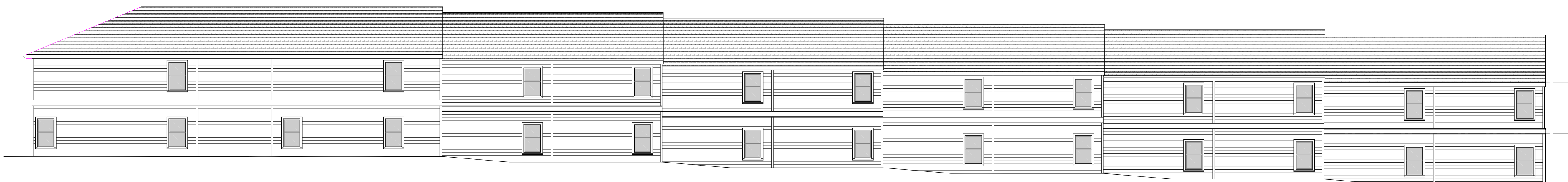
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3

SOUTH ELEVATION

1" = 10'-0"



2

NORTH ELEVATION

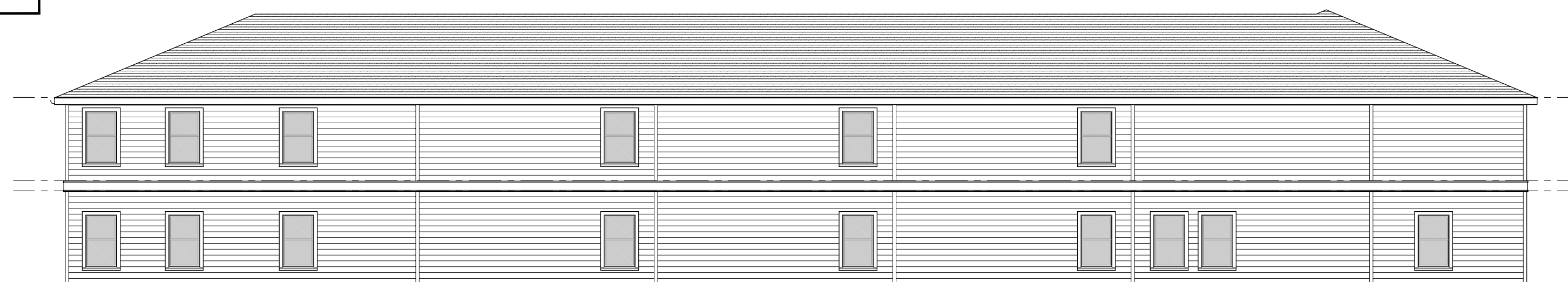
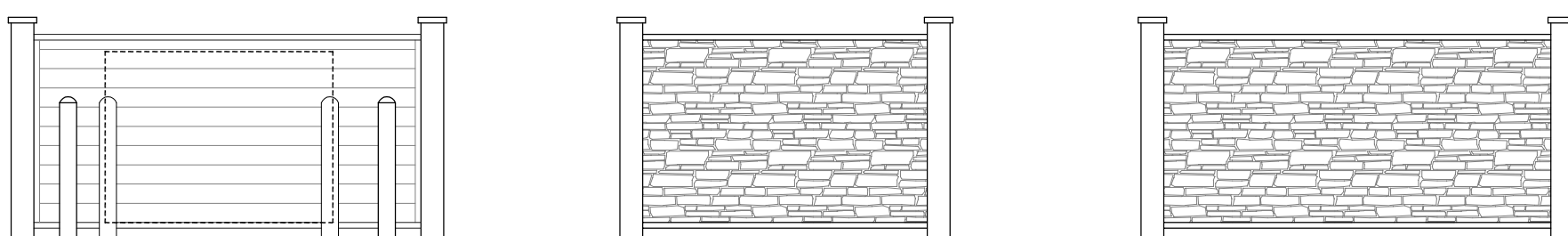
1" = 10'-0"

DUMPSTER ENCLOSURE FINISHES:

LEDGERSTONE MASONRY AT THE OUTSIDE FACE TO MATCH THE BUILDING, COMPOSITE SIDING AT THE INSIDE FACE - PAINTED TO MATCH THE BUILDING COLORS. SIZE PER CIVIL DRAWINGS.

FINISH SELECTION:

ROOF: GAF TIMBERLINE HDZ - PEWTER FINISH
COMPOSITE SIDING: SW9149 - INKY BLUE
LEDGERSTONE: NORSE BP - WASATCH MOUNTAIN STACK
ALL TRIM SHALL BE SW7005 - EXTRA WHITE
ALL WINDOWS SHALL BE WHITE



4

DUMPSTER ENCLOSURE

$$1'' = 5'$$

BUILDING FINISHES:

ARCHITECTURAL ASPHALT SHINGLES, COMPOSITE SIDING & TRIM, LEDGERSTONE MASONRY AT MAIN LEVEL UNIT ENTRIES.

1

EAST (REAR) ELEVATION

1" = 10'-0"



2

SOUTH ELEVATION - NORTHERN UNITS

NTS.



FINISH SELECTION:
ROOF: GAF TIMBERLINE HDZ - PEWTER FINISH
COMPOSITE SIDING: SW9149 - INKY BLUE
LEDGERSTONE: NORSE BP - WASATCH MOUNTAIN STACK
ALL TRIM SHALL BE SW7005 - EXTRA WHITE
ALL WINDOWS SHALL BE WHITE

BUILDING FINISHES:
ARCHITECTURAL ASPHALT SHINGLES, COMPOSITE SIDING & TRIM, LEDGERSTONE MASONRY AT MAIN LEVEL UNIT ENTRIES.

1

WEST (FRONT) ELEVATION

NTS.

HANS THOMAS & ASSOCIATES

4741 CENTRAL STREET SUITE 1355
MANDAN, ND 58540
P 816.686.2242

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HANS R. THOMAS, ARCHITECT
#

REVISIONS

NO.	DESCRIPTION	DATE

DATE: 03.19.24

SHEET NO.

BUILDING
ELEVATION
RENDERINGS

ER1

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2 NORTH ELEVATION - SOUTHERN UNITS
NTS.



FINISH SELECTION:
ROOF: GAF TIMBERLINE HDZ - PEWTER FINISH
COMPOSITE SIDING: SW9149 - INKY BLUE
LEDGERSTONE: NORSE BP - WASATCH MOUNTAIN STACK
ALL TRIM SHALL BE SW7005 - EXTRA WHITE
ALL WINDOWS SHALL BE WHITE

BUILDING FINISHES:
ARCHITECTURAL ASPHALT SHINGLES, COMPOSITE SIDING &
TRIM, LEDGERSTONE MASONRY AT MAIN LEVEL UNIT ENTRIES.

1 BUILDING - SOUTH ELEVATION
NTS.

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REVISIONS

DATE: 03.19.24

SHEET NO.
BUILDING
ELEVATION
RENDERINGS

ER2

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2 BUILDING - EAST (REAR) ELEVATION
NTS.



FINISH SELECTION:
ROOF: GAF TIMBERLINE HDZ - PEWTER FINISH
COMPOSITE SIDING: SW9149 - INKY BLUE
LEDGERSTONE: NORSE BP - WASATCH MOUNTAIN STACK
ALL TRIM SHALL BE SW7005 - EXTRA WHITE
ALL WINDOWS SHALL BE WHITE

BUILDING FINISHES:
ARCHITECTURAL ASPHALT SHINGLES, COMPOSITE SIDING & TRIM, LEDGERSTONE MASONRY AT MAIN LEVEL UNIT ENTRIES.

1 BUILDING - NORTH ELEVATION
NTS.

HANS THOMAS & ASSOCIATES
4741 CENTRAL STREET SUITE 1355
MANDAN, ND 58542
P 816.686.2242

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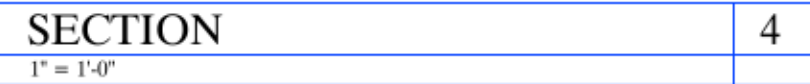
HANS R. THOMAS, ARCHITECT
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REVISIONS	

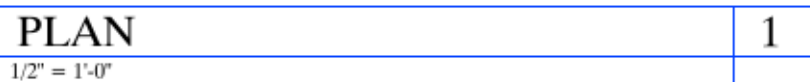
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SHEET NO.
BUILDING ELEVATION RENDERINGS
ER3

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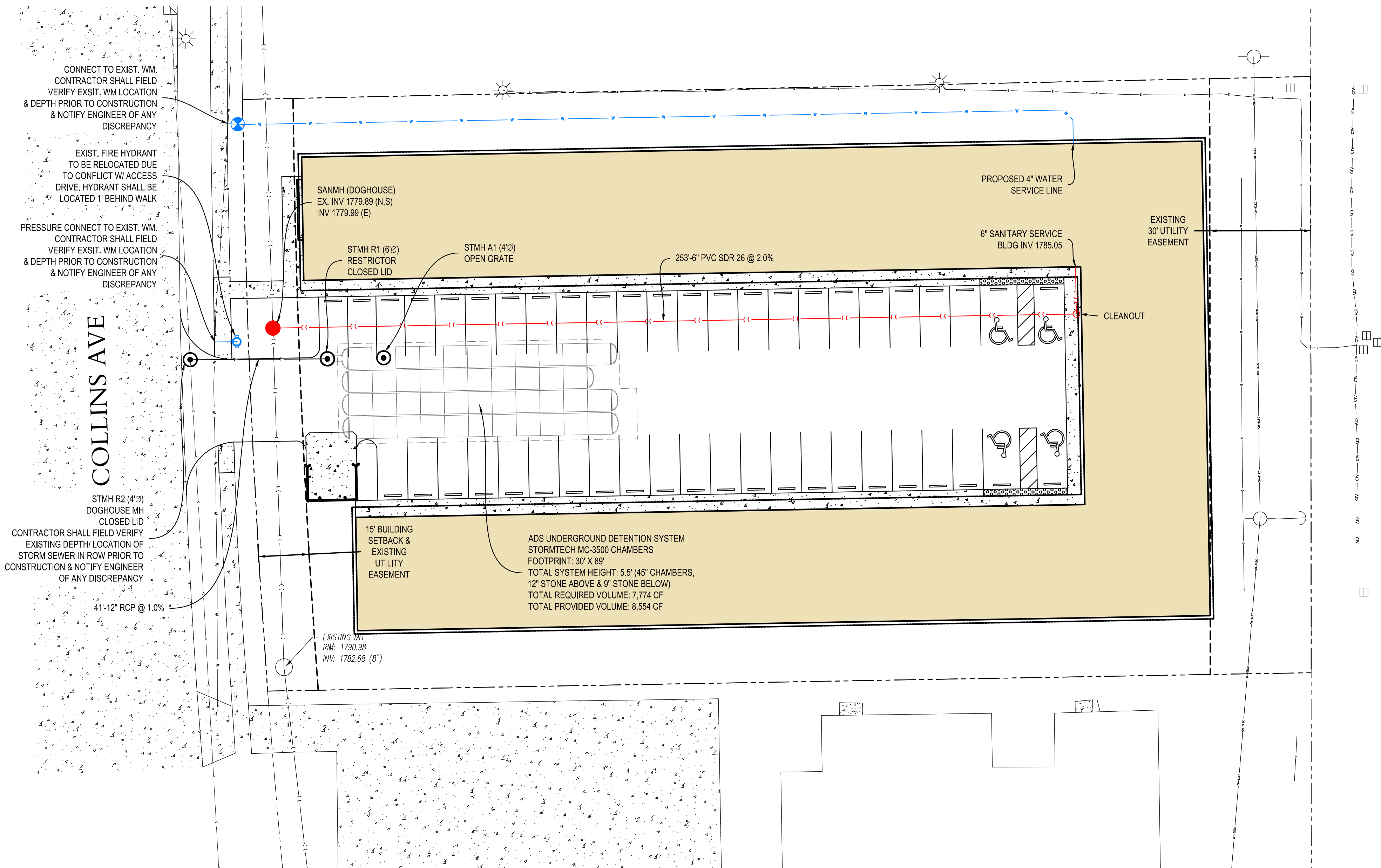
- | | |
|---------------|---|
| GENERAL NOTES | 3 |
|---------------|---|



2205 Kimberly Road
Bettendorf, Iowa 52722

DRAWING NAME
SIGNAGE
DRAWING NUMBER

A 1.0



STORMWATER MANAGEMENT

EXISTING RELEASE RATES (PRE-DEVELOPMENT):

2-YR 24-HR: 0.085 CFS
10-YR 24-HR: 0.209 CFS
100-YR 24-HR: 0.508 CFS

PROPOSED RELEASE RATES (DEVELOPED CONDITION):

2-YR 24-HR: 0.083 CFS
10-YR 24-HR: 0.206 CFS
100-YR 24-HR: 0.323 CFS

UNDERGROUND DETENTION SYSTEM RELEASE:
UTILIZING A TWO-ORIFICE RELEASE. THE FIRST ORIFICE AT THE SYSTEM INVERT WILL BE 1.65", AND THE SECOND ORIFICE WILL BE 2.5" IN DIAMETER AND PLACED AT THE HWL OF THE 2-YEAR 24-HR STORM EVENT.

SITE IMPERVIOUS

Existing Impervious Area = 0 sf OR 0.00 Acres
Proposed Impervious Area = 40,380 sf OR 0.93 Acres
Net New Impervious Area = 40,380 sf OR 0.93 Acres

UTILITY LEGEND

	PROPOSED	EXISTING
STORM SEWER		
SANITARY SEWER		
WATERMAIN		
ELECTRIC		
TELEPHONE		
GAS		
STORM MANHOLE		
SANITARY MANHOLE		
VALVE VAULT / B-BOX		
FIRE HYDRANT		
TRANSFORMER		

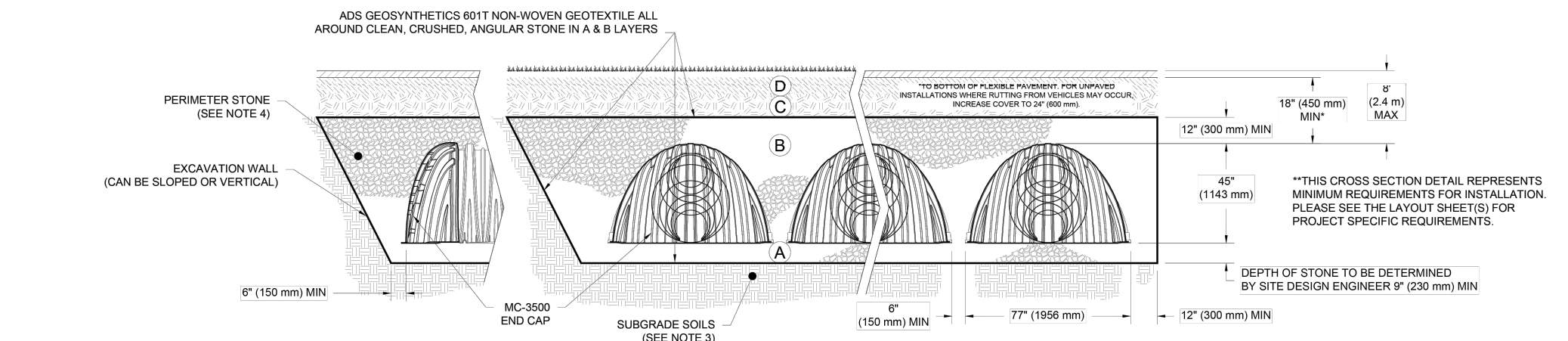
UTILITY NOTES

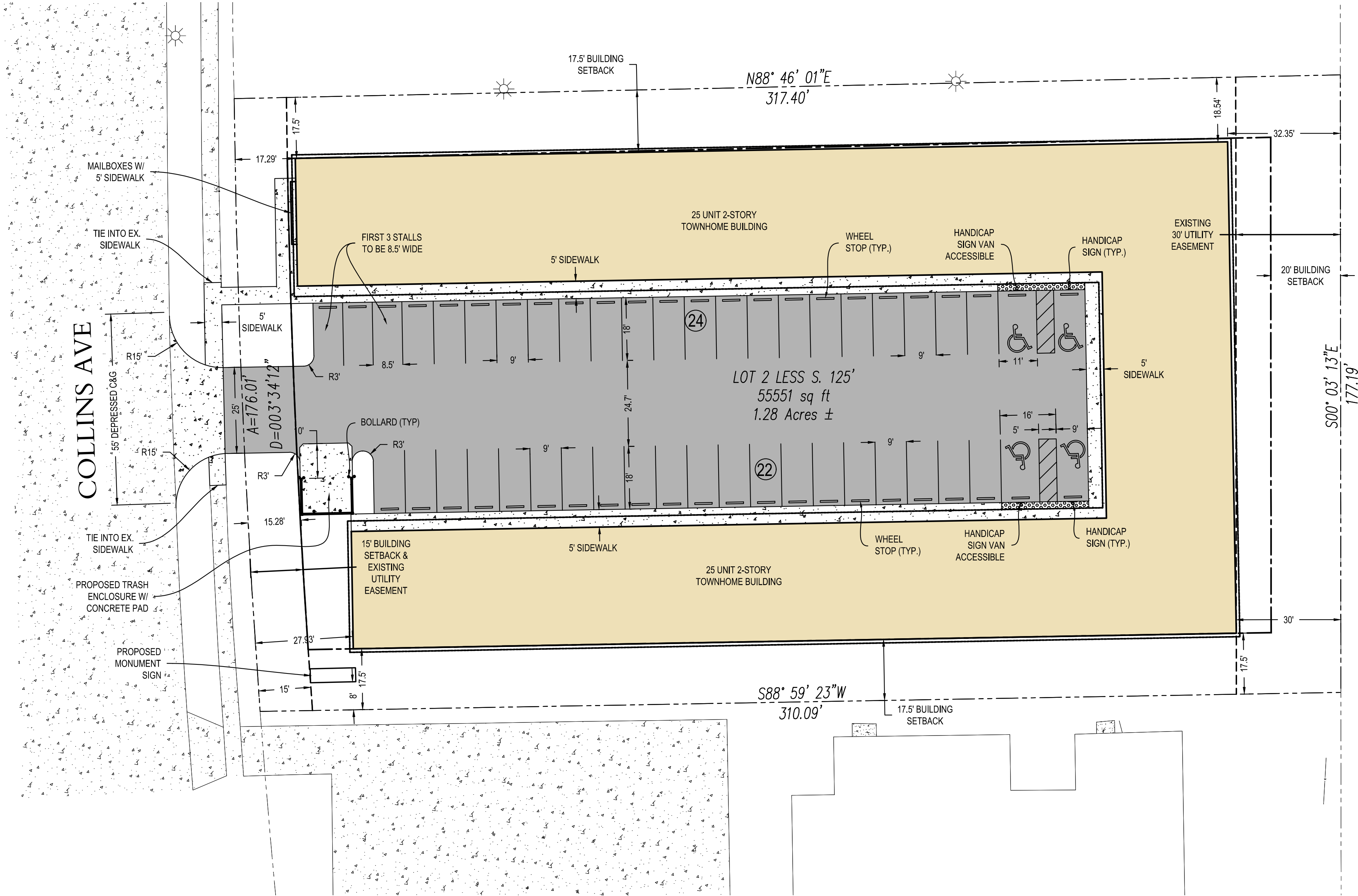
- ALL STORM SEWER PIPE SHALL MEET NORTH DAKOTA DOT SPECIFICATIONS FOR SELECTING THE PIPE CLASS. STORM PIPE MUST MEET ASTM C76 STANDARDS.
 - PRECAST CONCRETE SECTIONS FOR MANHOLES, CATCH BASINS, INLETS AND VAULTS SHALL MEET ASTM C478.
 - EXISTING UTILITIES SHOWN ARE FOR INFORMATION ONLY AND ARE NOT NECESSARILY EXCLUSIVE. CONTRACTOR SHALL VERIFY UTILITIES WHERE POSSIBLE AND NOTIFY ENGINEER OF DISCREPANCIES, EXCEPTIONS, OR OMISSIONS AS SOON AS POSSIBLE.
 - NO FILTER FABRIC ALLOWED UNDER FRAMES OR GRATES. ALL STRUCTURES SHALL HAVE INLET FILTERS INSTALLED. ALL INLET PROTECTION SHOULD BE IN ACCORDANCE WITH THE APPROVED STORMWATER POLLUTION PREVENTION PLAN.
 - GENERAL CONTRACTOR SHALL VERIFY SPECIFIC SIZE AND LOCATION OF CONDUIT FOR GAS, ELECTRIC AND TELEPHONE PRIOR TO INSTALLATION.
 - CONTRACTOR TO SEE LANDSCAPE AND IRRIGATION SPECIFICATIONS IN ARCHITECTURAL PLANS AND CONTRACT DOCUMENTS FOR ADDITIONAL REQUIREMENTS.
 - FRAME AND GRATE REQUIREMENTS:
STORM STRUCTURE (PAVEMENT)
NEENAH R-2502 FRAME FOR OPEN GRATES,
NEENAH R-1772 FOR CLOSED LIDS
STORM STRUCTURE (CURB)
NEENAH R-3278-A
- EXCEPTIONS TO ABOVE ARE NOTED ON PLANS. SEE SHEET C7.2 FOR FRAME AND GRATE DETAILS

ACCEPTABLE FILL MATERIALS: STORMTECH MC-3500 CHAMBER SYSTEMS

MATERIAL LOCATION	DESCRIPTION	AASHTO MATERIAL CLASSIFICATIONS	COMPACTION / DENSITY REQUIREMENT
D	FINAL FILL: FILL MATERIAL FOR LAYER 'D' STARTS FROM THE TOP OF THE 'C' LAYER TO THE BOTTOM OF FLEXIBLE PAVEMENT OR UNPAVED FINISHED GRADE ABOVE. NOTE THAT PAVEMENT SUBBASE MAY BE PART OF THE 'D' LAYER	ANY SOLID ROCK MATERIALS, NATIVE SOILS OR PER ENGINEER'S PLANS. CHECK PLANS FOR PAVEMENT SUBGRADE REQUIREMENTS.	N/A
C	INITIAL FILL: FILL MATERIAL FOR LAYER 'C' STARTS FROM THE TOP OF THE EMBEDMENT STONE ('B' LAYER) TO 1" (450 mm) ABOVE THE TOP OF THE CHAMBER. NOTE THAT PAVEMENT SUBBASE MAY BE A PART OF THE 'C' LAYER	GRANULAR WELL-GRADED SOIL/AGGREGATE MIXTURES, ~35% FINES OR MOST PAVEMENT SUBBASE MATERIALS CAN BE USED IN LIEU OF THIS LAYER	BEGIN COMPACTIONS AFTER 1" (450 mm) OF MATERIAL OVER THE CHAMBERS IS REACHED. COMPACT ADDITIONAL LAYERS IN 12" (300 mm) MAX LIFTS TO A MIN. 96% PROCTOR DENSITY FOR WELL GRADED MATERIAL AND 95% RELATIVE DENSITY FOR PROCESSED AGGREGATE MATERIALS.
B	EMBEDMENT STONE: FILL SURROUNDING THE CHAMBERS FROM THE FOUNDATION STONE ('A' LAYER) TO THE 'C' LAYER ABOVE	AASHTO M45 ¹ A-1, A-2-4, A-3 OR AASHTO M41 ¹ 3, 307, 4, 407, 5, 56, 57, 5, 67, 68, 7, 78, 8, 89, 9, 10	NO COMPACTION REQUIRED.
A	FOUNDATION STONE: FILL BELOW CHAMBERS FROM THE SUBGRADE UP TO THE FOOT (BOTTOM) OF THE CHAMBER	CLEAN, CRUSHED, ANGULAR STONE OR RECYCLED CONCRETE ² AASHTO M43 ¹ 3, 357, 4, 407, 5, 56, 57 OR AASHTO M43 ¹ 3, 357, 4, 407, 5, 56, 57	PLATE COMPACT OR ROLL TO ACHIEVE A FLAT SURFACE ^{2,3}

PLEASE NOTE:
1. THE LISTED AASHTO DESIGNATIONS ARE FOR GRADATIONS ONLY. THE STONE MUST ALSO BE CLEAN, CRUSHED, ANGULAR. FOR EXAMPLE, A SPECIFICATION FOR #4 STONE WOULD STATE: "CLEAN, CRUSHED, ANGULAR NO. 4 (AASHTO M43) STONE".
2. STORMTECH COMPACTION REQUIREMENTS ARE MET FOR 'A' LOCATION MATERIALS WHEN PLACED AND COMPACTED IN 9" (230 mm) MAX LIFTS USING TWO FULL COVERSAGES WITH A VIBRATORY COMPACTOR.
3. WHERE INFILTRATION SURFACES MAY BE COMPROMISED BY COMPACTION, FOR STANDARD DESIGN LOAD CONDITIONS, A FLAT SURFACE MAY BE ACHIEVED BY RANVING OR GRADING WITHOUT COMPACTION EQUIPMENT. FOR SPECIAL LOAD DESIGNS, CONTACT STORMTECH FOR COMPACTION REQUIREMENTS.
4. ONCE LAYER 'C' IS PLACED, ANY SOLI MATERIAL CAN BE PLACED IN LAYER 'D' UP TO THE FINISHED GRADE. MOST PAVEMENT SUBBASE SOILS CAN BE USED TO REPLACE THE MATERIAL REQUIREMENTS OF LAYER 'C' OR 'D' AT THE SITE DESIGN ENGINEER'S DISCRETION.
5. WHERE RECYCLED CONCRETE AGGREGATE IS USED IN LAYERS 'A' OR 'B' THE MATERIAL SHOULD ALSO MEET THE ACCEPTABILITY CRITERIA OUTLINED IN TECHNICAL NOTE 8.20 "RECYCLED CONCRETE STRUCTURAL BACKFILL".





PROPERTY INFO

1300 Collins Avenue
Mandan, ND

Proposed Use: Two-Story Townhomes
Existing Zoning: CA - Commercial District
Required Zoning: CA - Commercial District

Parcel Area: 55,551 sf (±1.28 ac)
Pr. Building Footprint Area: 20,930 sf

PARKING

Quantity Req'd: 2 spaces = 25 * 2 = 50
1 unit (Mandan, ND Code of Ordinances)

Parking Provided: 46 = 42 Standard + 4 ADA

Stall Size Required: 8.5' x 18' (Standard), 9' x 18' (Standard), 14' x 18' (ADA-Standard) 16' x 18' (ADA-Van)

Stall Size Provided: 8.5' x 18' (Standard), 9' x 18' (Standard), 14' x 18' (ADA-Standard) 16' x 18' (ADA-Van)

Drive Aisle Minimum: 24' (Two-way)

SITE IMPERVIOUS

Existing Impervious Area = 0 sf OR 0.00 Acres
Proposed Impervious Area = 40,380 sf OR 0.93 Acres
Net New Impervious Area = 40,380 sf OR 0.93 Acres

LEGEND

PROPOSED CURB & GUTTER	
EXISTING CURB & GUTTER	
PROPERTY LINE	
SETBACK LINE	
CONCRETE	
FULL-DEPTH ASPHALT PAVEMENT	
TRUNCATED DOMES	

KORU
Koru Group, PLLC
2135 CityGate Lane, Suite 330
Naperville, IL 60563

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CONSULTING ARCHITECT:

GENERAL CONTRACTOR:

CLIENT:

Avalon at Mandan

1300 Collins Avenue
Mandan, ND

NOT FOR CONSTRUCTION

REVISIONS:		
#	DESCRIPTION	DATE
1		3/19/2024
2		
3		
4		
5		
6		
7		
8		
9		
10		

PROJECT NUMBER: 24005

DRAWN BY: TR REVIEWED BY: MTE

SHEET TITLE:

SITE PLAN

SHEET NO.

C1.1

1. In general, Contractor shall become familiar with the site and with scope of work prior to the submission of bid proposal and should notify Landscape Architect (LA) and/or owner of any discrepancies between the drawings and existing site conditions.
2. Bid Proposal shall show unit prices and quantities for all items shown on this drawing.
3. Contractor shall follow and conform to Mandan, ND building codes.
4. Job site safety and means and methods of construction are the responsibility of the Contractor.
5. Contractor shall excavate and dispose of excavated materials off site.
6. Contractor shall be responsible for any damage to buildings or site as a result of executing the work which is part of contract or additional work which may be added to this contract at a later date.
7. Site shall be kept clean at all times and shall be thoroughly cleaned at the end of each working day.
8. Driveways shall be unobstructed at all times and consideration for the neighboring properties maintained.
9. Determine and verify exact locations of all underground utilities in the field before work begins. Call JULIE 1-800-892-0123 (48 hours) before you dig, excluding Saturdays, Sundays, and holidays.
10. Plants and other materials are quantified and summarized for the convenience of the owner and jurisdictional agencies only. Confirm and install sufficient quantities to complete the work as drawn.
11. Landscape Architect not responsible for installation permits unless otherwise noted.
12. Determine subsoil conditions and subsurface drainage requirements of all plant material.
13. Removals. Contractor shall clear existing plant material and weeds as needed where new planting is provided per plan. New topsoil shall be provided and/or amended as needed to fine grade planting areas.
14. Topsoil. Any new topsoil shall be fertile, pulverized, friable, natural, loam, surface soil, free of subsoil, clay lumps, brush, weeds, stones larger than 1" in any dimension and other extraneous or toxic matter harmful to plant growth. Soil shall have acidity range of pH 5.7 - 10, less than 3% humus as determined by loss on ignition of moisture free samples dried at 100 degrees centigrade, less than 60% of material passing VSS #100 sieve consists of clay by dried weights of material.
15. Amend Existing Soil. Amend existing soil in all planting beds. Amended soil shall be 25% soil conditioner, 25% clean sand and 50% existing soil. Rootball amendments into planting beds.
16. Plant Material. The Landscape Architect reserves the right to personally select any or all nursery stock prior to digging. All plant material shall bear the same relationship to the new grade as they bore to the previous (nursery) grade. Comply with sizing and grading standards of the latest edition "American Standard for Nursery Stock". All plants are subject to inspection by the Landscape Architect at the job site or nursery.
17. Plant Installation. Set plant material in the planting pit to proper grade and alignment. Set plants upright, plumb, and face to give the best appearance and to insure proper growth of other or adjacent structures. Do not fill around trunks or stems. Do not use straw or muddy mixture for backfilling. Supply a minimum of 12" of soil mix on all sides of rootballs for trees and shrubs unless otherwise noted. Plant groundcover and perennials and tamp down soil around pot so pot does not heave in front. Water in before applying mulch. Do not cover foliage with mulch. Balled roots shall be protected from drying out and care taken to prevent the ball from freezing.
18. Mulch. Provide 3" loose measure of mulch throughout all planting areas excluding groundcover beds. Mulch to be 6 month old, well rotted, shredded, hardwood bark mulch, not larger than 4" in length and 1/2" in width, free of wood chips and sawdust.
19. Watering. LC to water installed plant materials for the entire first season.
20. Seed. Supply and install Northern blend of seed mixture (60% bluegrass, 20% red fescue, 20% annual and perennial rye) on minimum 4" depth of fine, loam, pulverized, topsoil as needed. NAC 5756N erosion control blanket to cover seed. See engineering plans.
21. Repair Disturbed Areas. All disturbed areas shall be repaired and fine graded and topdressed with a minimum 4" depth, rotted, pulverized topsoil. All existing soil not used in repair of disturbed areas shall be removed from site. Seed and blanket all repaired areas as noted.
22. Bed Edge. Space edge where bed meets lawn if no edging is installed.
23. Upon completion of all landscape work, the LC shall notify the LA and owner for approval and acceptance. LC shall guarantee all work and plant material for a minimum of one year, after acceptance by the LA and owner, of completed landscape work.



PLANT LIST				
SHADE TREES				
KEY	QTY.	SIZE	BOTANICAL NAME	COMMON NAME
GEQ	2	2"	<i>Gallia occidentalis</i>	Common Hackberry
GTS	2	2"	<i>Gedidia triacanthos</i> var. <i>inermis</i> 'Skyline'	Skyline Thornless Honeylocust
CYD	2	2"	<i>Gymnocladus dioica</i> 'Espresso'	Espresso Kentucky Coffeetree
QUM	1	2"	<i>Quercus macrocarpa</i>	Bur Oak
EVERGREEN TREES				
KEY	QTY.	SIZE	BOTANICAL NAME	COMMON NAME
PCG	2	6'	<i>Picea glauca</i> 'Densata'	Black Hills Spruce
PCG	2	6'	<i>Picea pungens</i>	Colorado Spruce
ORNAMENTAL TREES				
KEY	QTY.	SIZE	BOTANICAL NAME	COMMON NAME
AAB	2	6"	<i>Amelanchier x grandiflora</i> 'Autumn Brilliance'	Autumn Brilliance Serviceberry
SHRUBS				
KEY	QTY.	SIZE	BOTANICAL NAME	COMMON NAME
HYP	5	18"	<i>Hydrangea paniculata</i> 'SMIPO'	Little Quick Fire Hydrangea
JSB	3	18"	<i>Rhus copallina</i> 'Buffalo'	Buffalo Juniper
HRH	15	18"	<i>Juniperus americana</i> 'Go-Low'	Go-Low Fragrant Sumac
SPR	2	4"	<i>Spiraea x bundler</i> 'Froebel'	Froebel Spiraea
TOH	3	4"	<i>Thuja occidentalis</i> 'Holmstrup'	Holmstrup Arborvitae
PERENNIALS AND ORNAMENTAL GRASSES				
KEY	QTY.	SIZE	BOTANICAL NAME	COMMON NAME
CKF	25	1 gal.	<i>Calamagrostis oculiflora</i> 'Karl Foerster'	Feather Reed Grass
HRH	14	1 gal.	<i>Hemerocallis</i> 'Happy Returns'	Happy Returns Daylily
HRH	17	1 gal.	<i>Hemerocallis</i> 'Rosy Returns'	Rosy Returns Daylily
SPQ	21	1 gal.	<i>Sporobolus heterolepis</i>	Proppie Droopseed

Date	Revision
03.19.24	



ARCHITECTURAL REVIEW COMMISSION APPLICATION

Applications need to be submitted to the Building Inspections Department no later than 12 p.m. (noon) on the Wednesday prior to the scheduled meeting at which consideration is desired. Digital submittals will be accepted. If paper copies are submitted a copy of the following information is required. They shall be no larger than 11 x 17 and need to have complete sets, drawn to scale. Incomplete applications will not be accepted. If you have any question call the Building Inspections department at 701-667-3230.

1. Description of Proposed Activity: Daily Perik Coffee
drive-thru 13x35
2. Name of Owner: Richard Holmes
Mailing Address: 1204 E overbluff RD
Phone (Cell) (425) 533-3582 (Office) _____
3. Name of Architect if applicable: —
Mailing Address: _____
Phone (Cell) _____ (Office) _____
4. Name of Contractor: Holmes Bldg & Design Center
Mailing Address: 1015 W. Broadway Dickinson SD 58601
Phone (Cell) 701-590-5133 (Office) 590-5133
5. Parcel Address: 2701 Memorial Hwy SE
6. Legal Description:
Lot 1 Block 1 Addition Rumplewood 11th Addition
Section 36 Township 139N Range 81W
7. Zoning: CC Commercial/Light Industrial Transition
8. Special Purpose District: _____
9. Existing Land Use: None
10. Lot Size (Sq Ft) 16,520 sf (Proposed - after replat)
Existing Bldg Area (Sq Ft) None
Proposed Bldg Area (Sq Ft) 455 sq. 13x35.
11. Estimated Cost of Project: 50,000
➤ Is this project receiving incentives from the City of Mandan? Yes ___ No ___
If you are receiving incentives please indicate which programs have been applied for.

I understand the procedures for Architectural Review and have received the checklist (see attached sheet) to be followed for approval as set forth in Chapter 111-1 of the Mandan City Code.

Approvals are subject to compliance with Federal, State and Local regulations.

Applicant: [Signature] Date: 3/19/2024



ARCHITECTURAL REVIEW COMMISSION APPLICATION INSTRUCTIONS

1. Give a brief description of you project.
2. The contact information for the owner of the property.
3. If an Architect is used provide the contact information for the Architect.
4. The contact information for the general contractor that will be preforming the work for your project.
5. The address of the parcel (lot) the work is being performed on.
6. Provide the Legal Description for the Parcel (lot).
7. The current zoning of the parcel (lot).
8. Indicate if the Parcel (lot) is located in the Downtown Core, Down Town Fringe, Gateway overlay district, or Memorial Highway overlay district. (see maps provided).
9. Describe what the parcel (lot) is currently being used for.
10. Give an exact lot size, building size, and proposed size of an addition or project size.
12. Cost for the project to include all dirt work, concrete, construction, electrical, plumbing, HVAC, landscaping, utilities, and any other costs associated with the project.

If this project is receiving any public funds from the city of Mandan please indicate which programs are being taken advantage of.

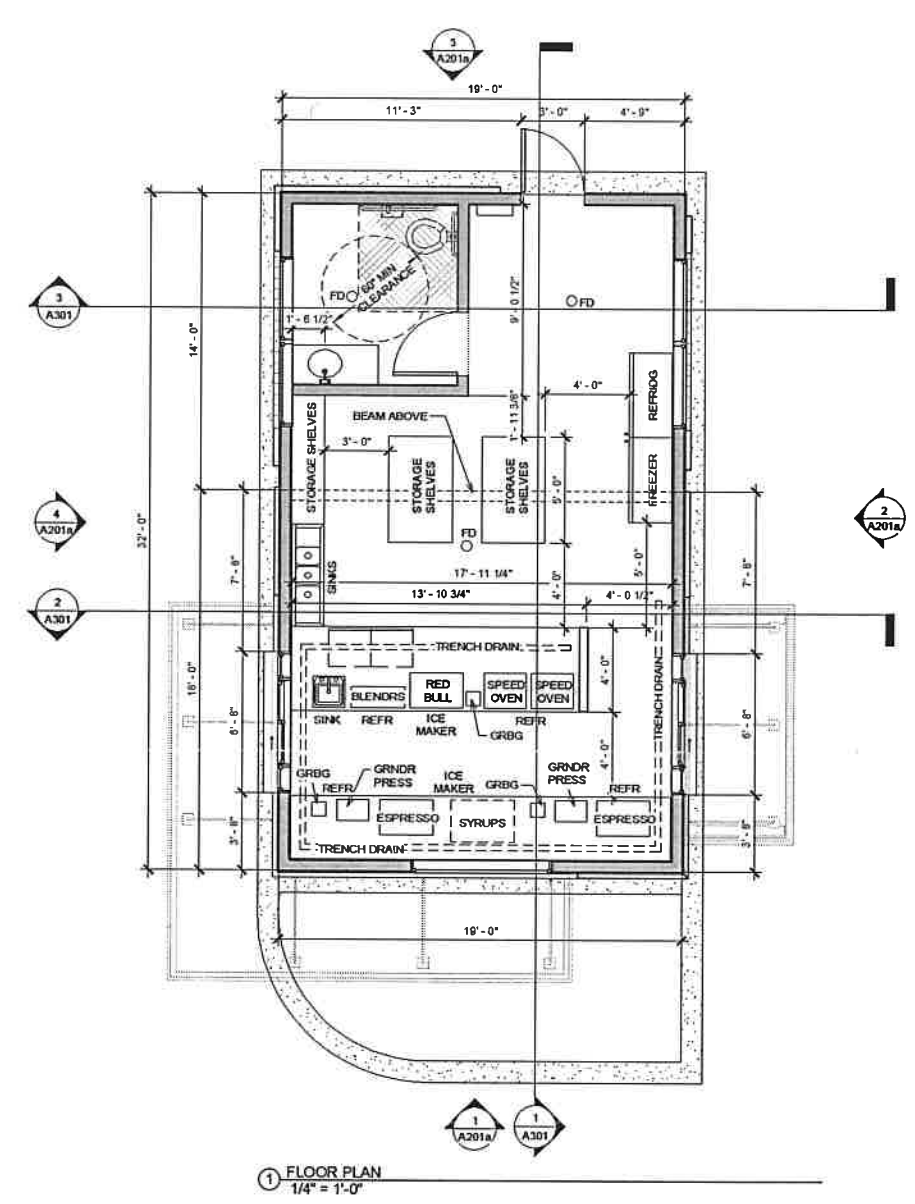
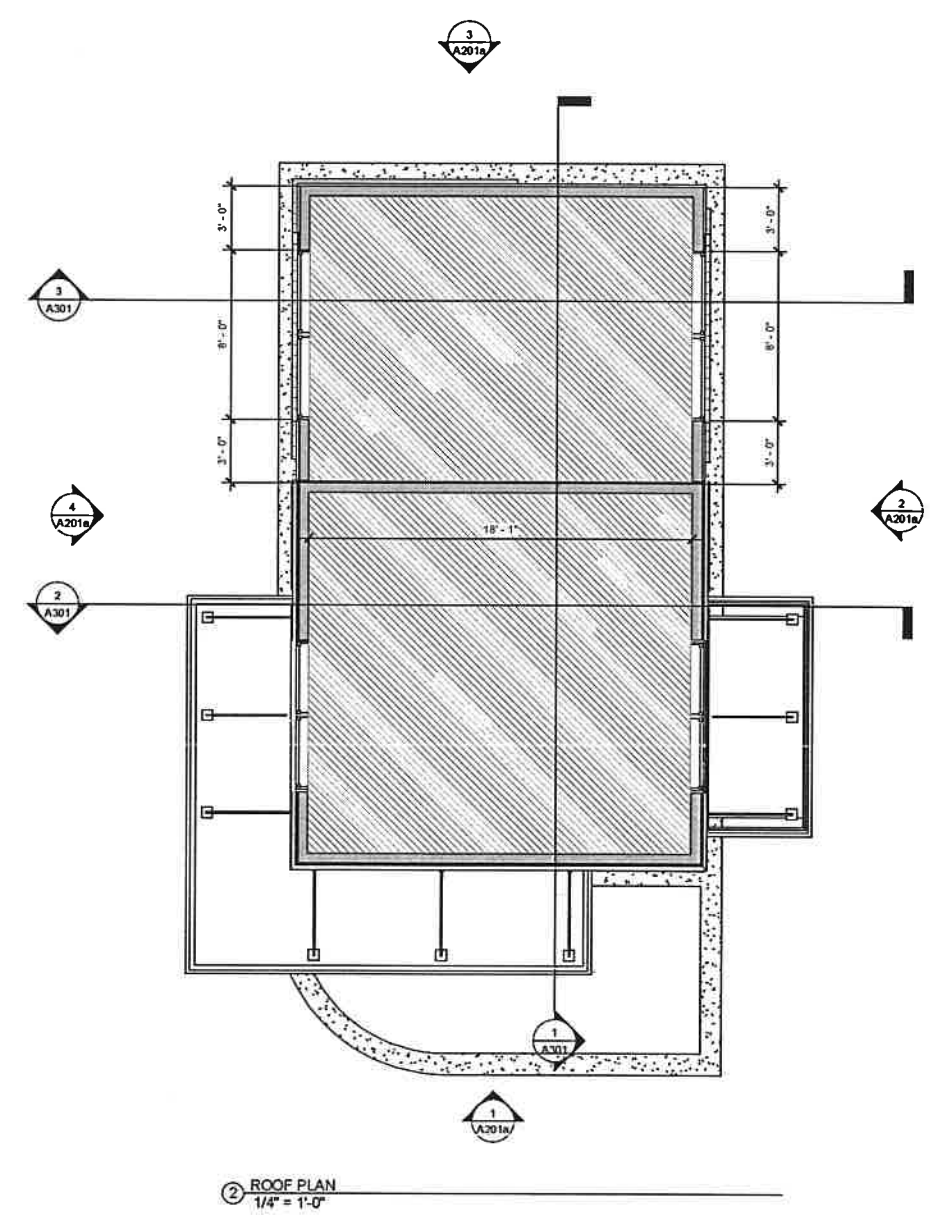
If you have additional question or need clarification on any of the items listed on the application please contact the Building Inspections office at 701-667-3230 and we will provide guidance on the completion of this form.

DAILY PERKS ESPRESSO DRIVE THRU
711 EAST VILLARD
DICKINSON, NORTH DAKOTA 58601

FLOOR PLAN
ROOF PLAN

DRAWN BY	PHF
PROJECT #	201303
DATE	3/29/2013
SCALE	1/4" = 1'-0"

SHEET
A102

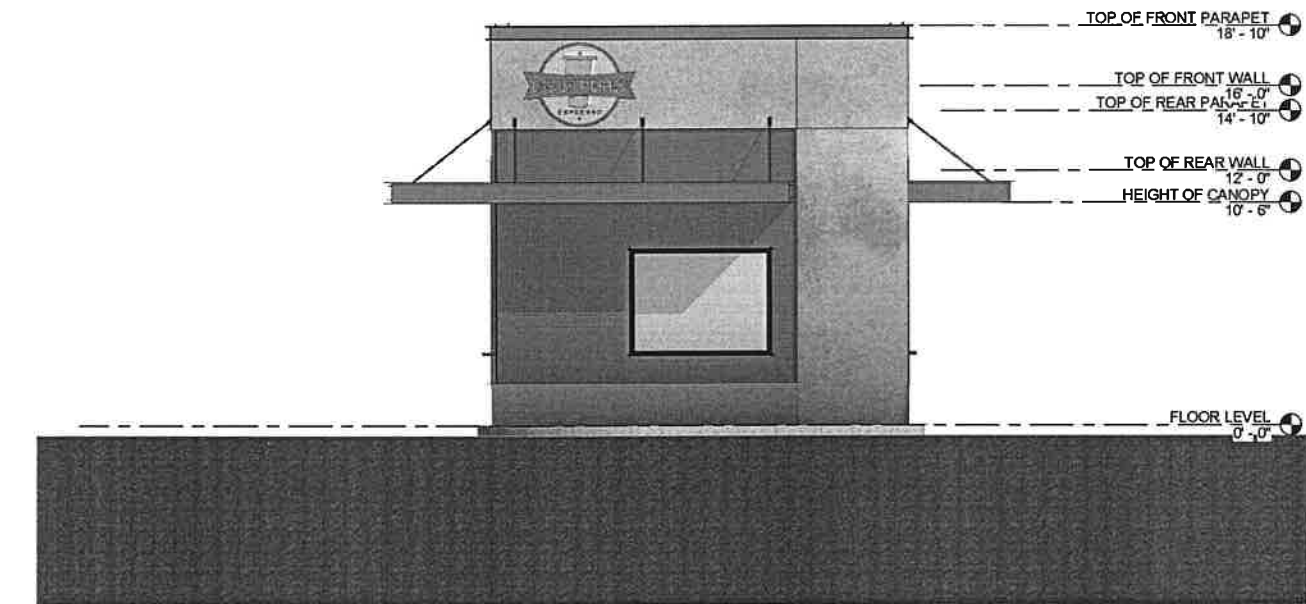


DAILY PERKS ESPRESSO DRIVE THRU
711 EAST VILLARD
DICKINSON, NORTH DAKOTA 58601

ELEVATIONS

DRAWN BY PIF
PROJECT # 20102
DATE 3/29/2021
SCALE 1/4" = 1'-0"

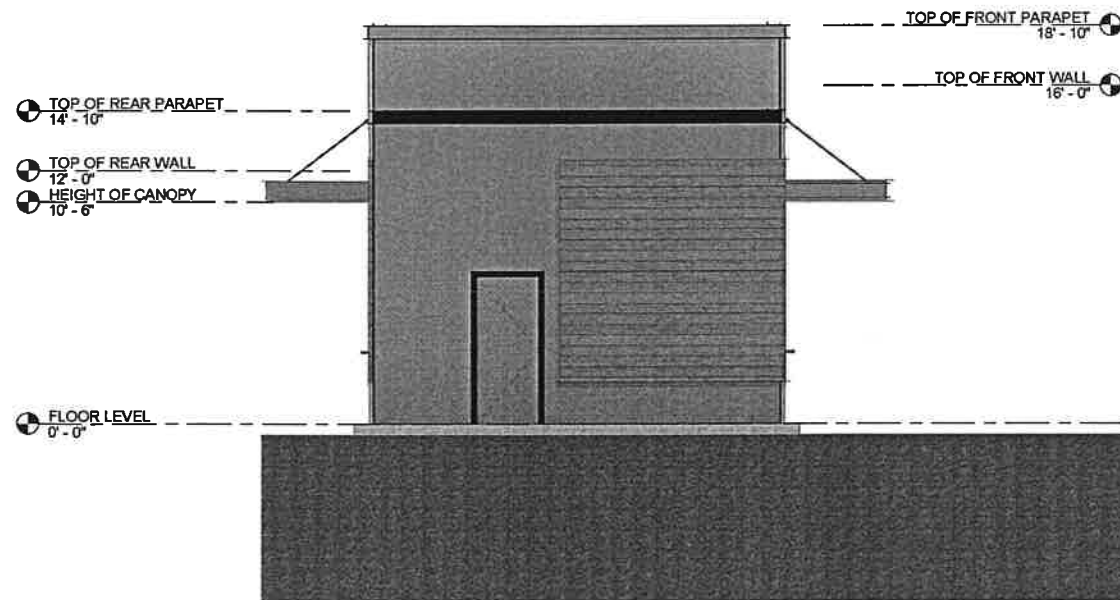
SHEET
A201



① SOUTH ELEVATION
1/4" = 1'-0"



② EAST ELEVATION
1/4" = 1'-0"



③ NORTH ELEVATION
1/4" = 1'-0"



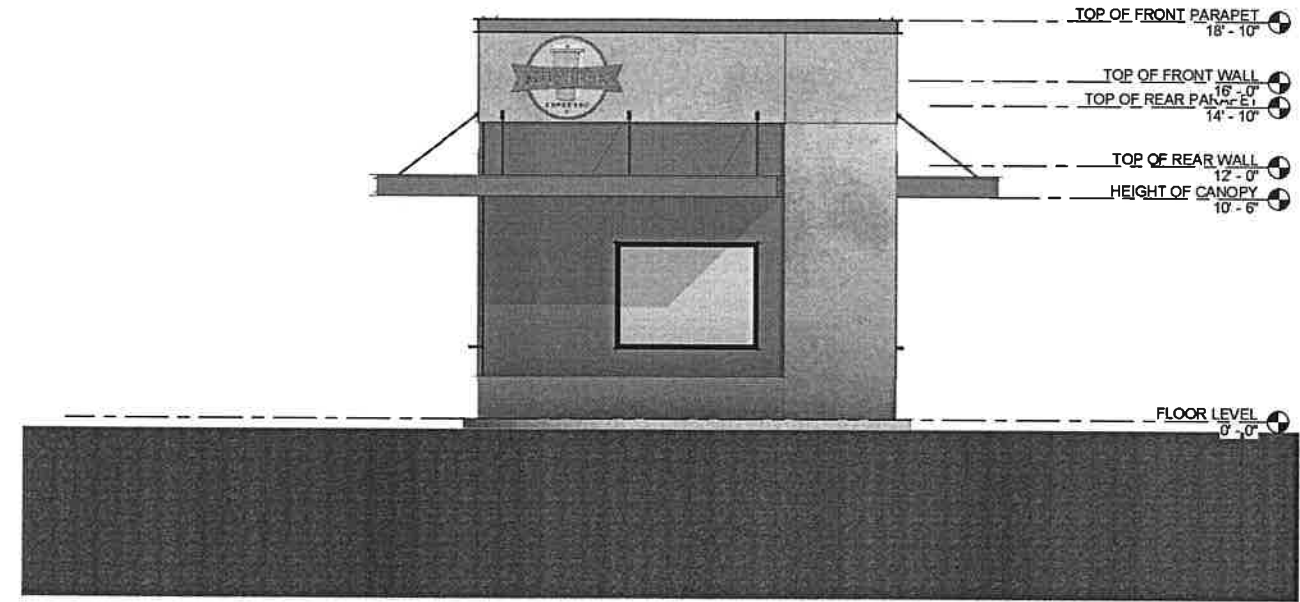
④ WEST ELEVATION
1/4" = 1'-0"

DAILY PERKS ESPRESSO DRIVE THRU
711 EAST VILLARD
DICKINSON, NORTH DAKOTA 58601

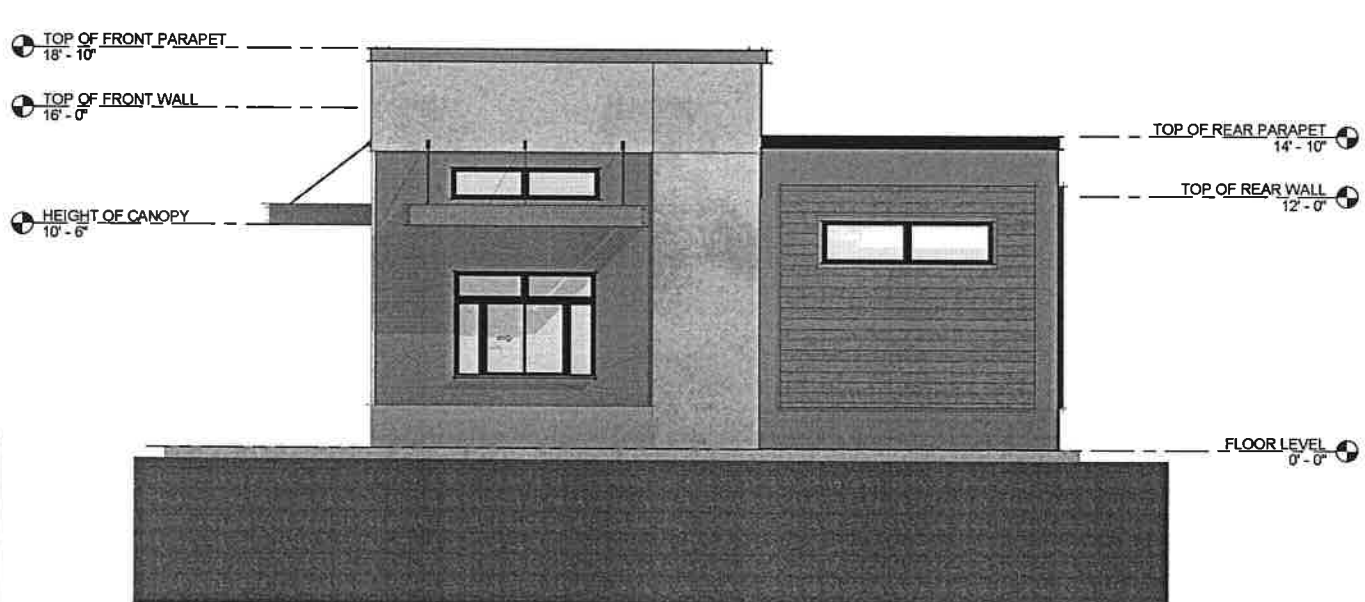
ELEVATIONS

DRAWN BY PIF
PROJECT # 201002
DATE 3/29/2021
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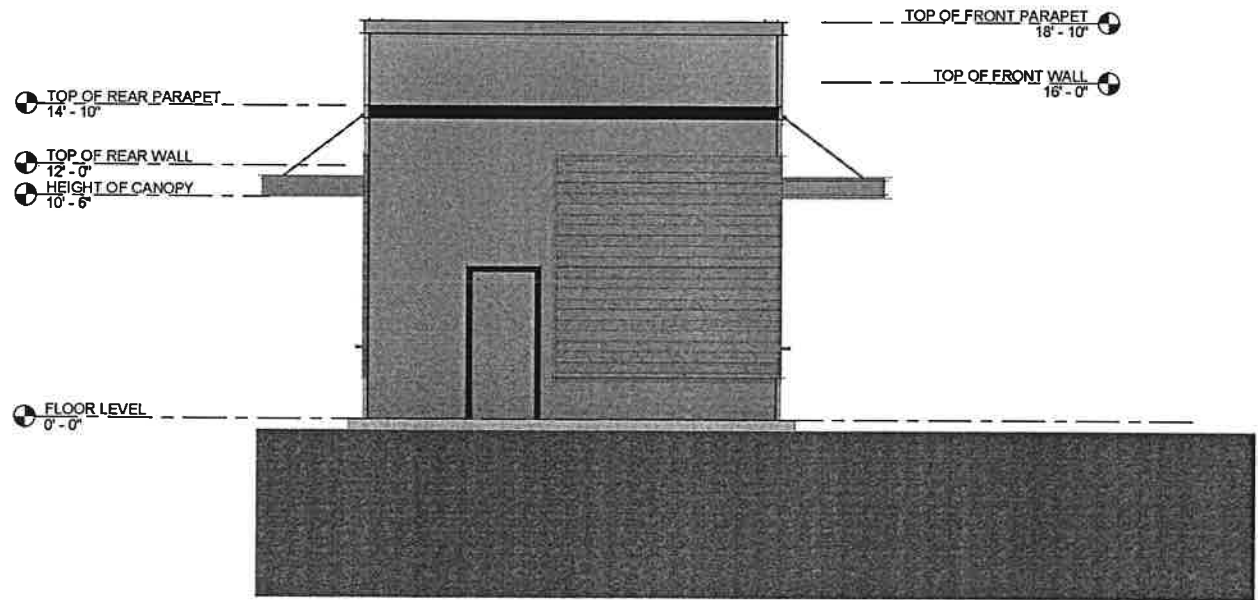
SHEET
A201



1 SOUTH ELEVATION
1/4" = 1'-0"



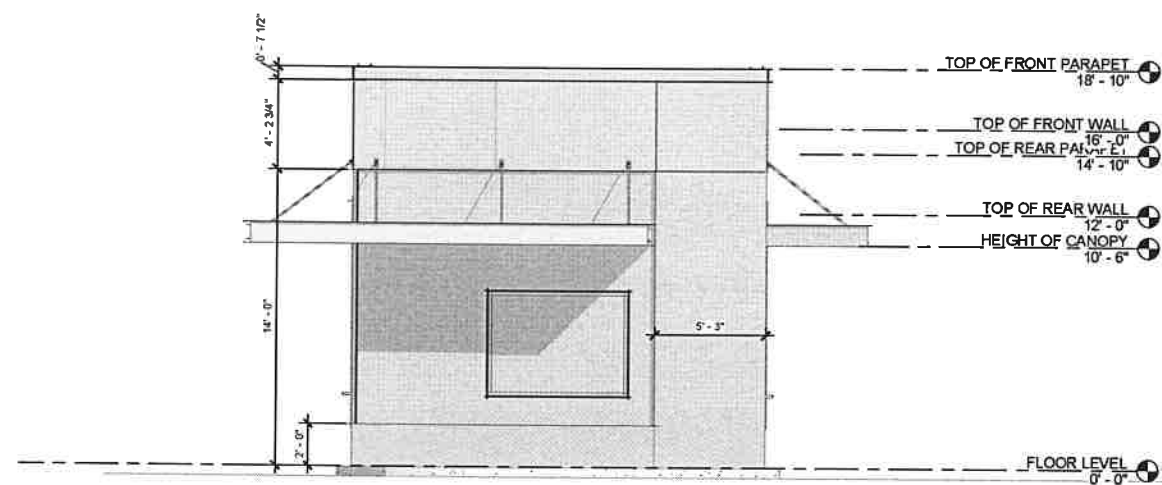
2 EAST ELEVATION
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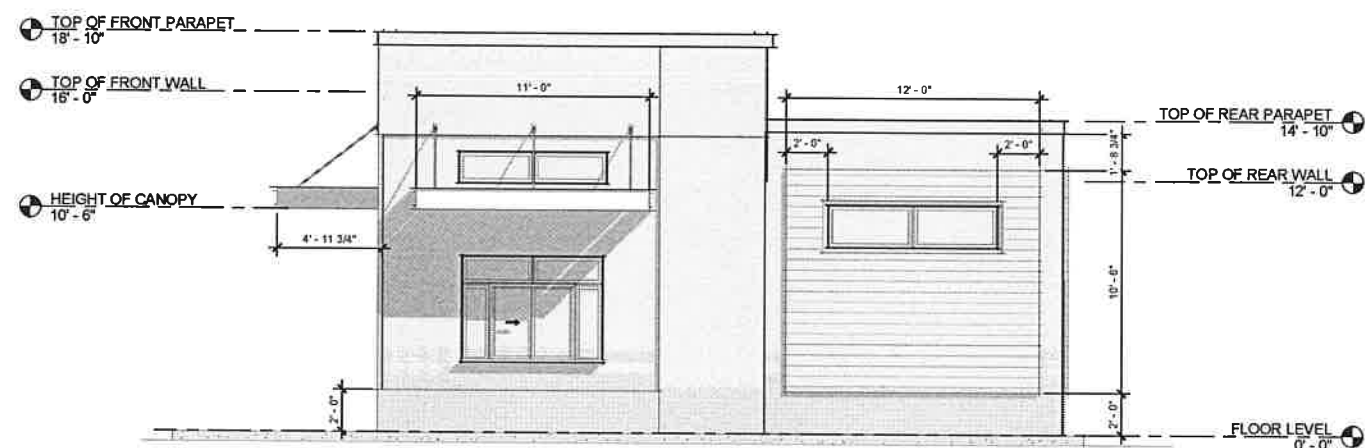
3 NORTH ELEVATION
1/4" = 1'-0"



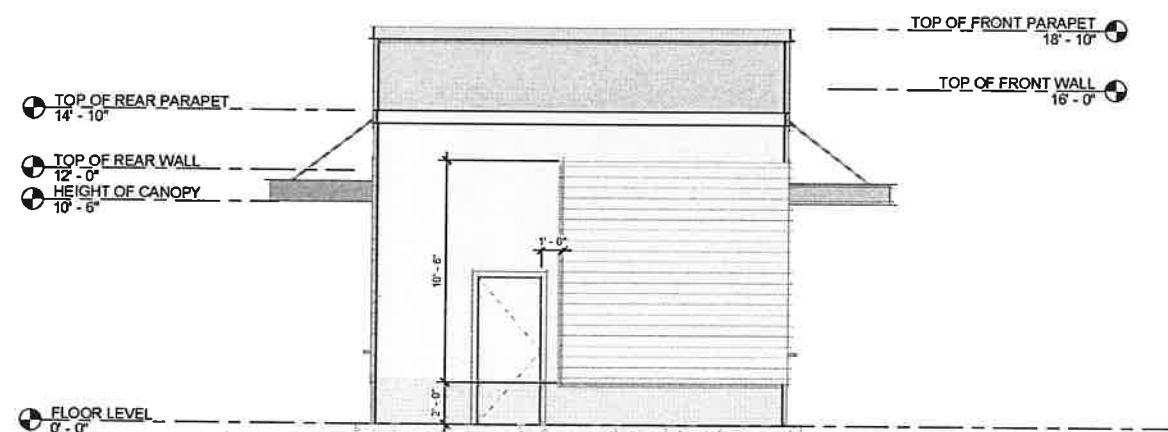
4 WEST ELEVATION
1/4" = 1'-0"



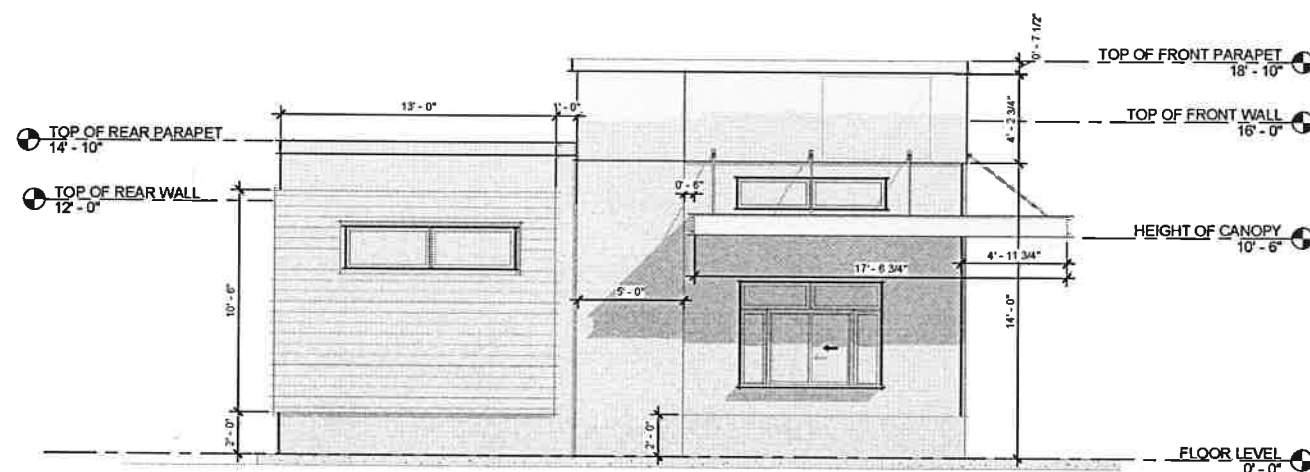
① SOUTH ELEVATION - A
1/4" = 1'-0"



② EAST ELEVATION - A
1/4" = 1'-0"



③ NORTH ELEVATION - A
1/4" = 1'-0"



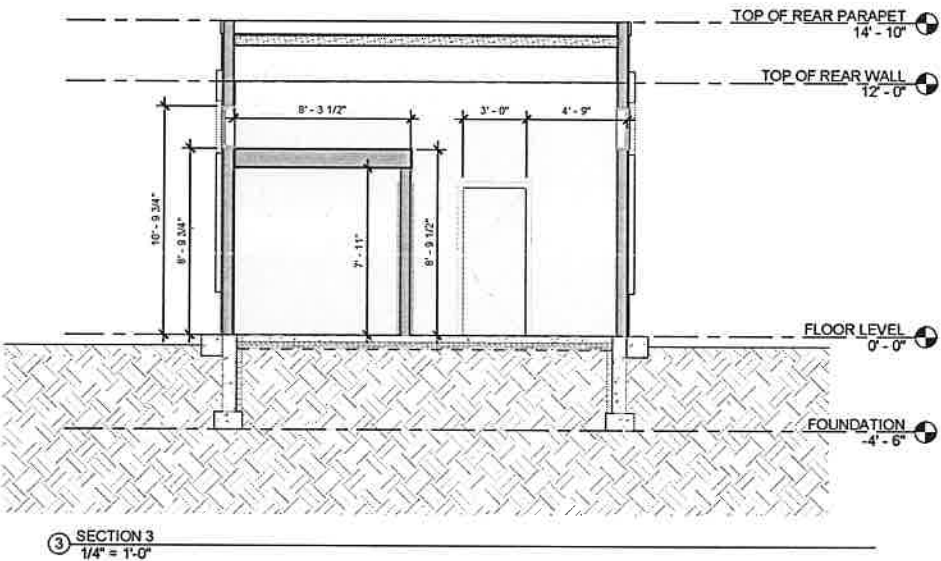
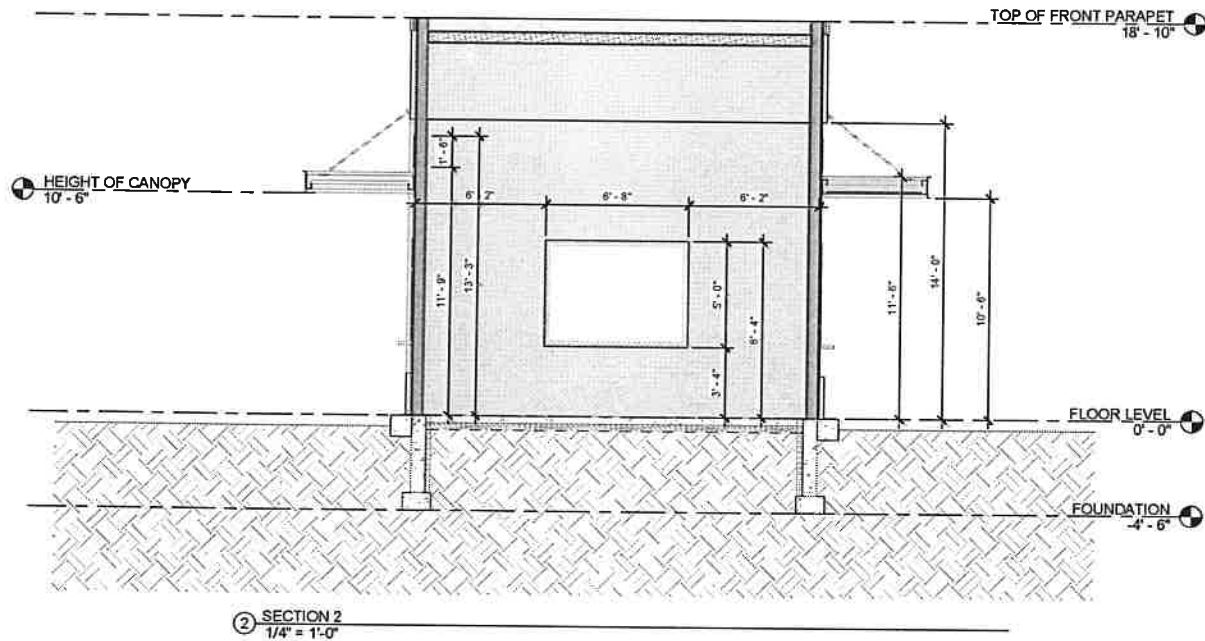
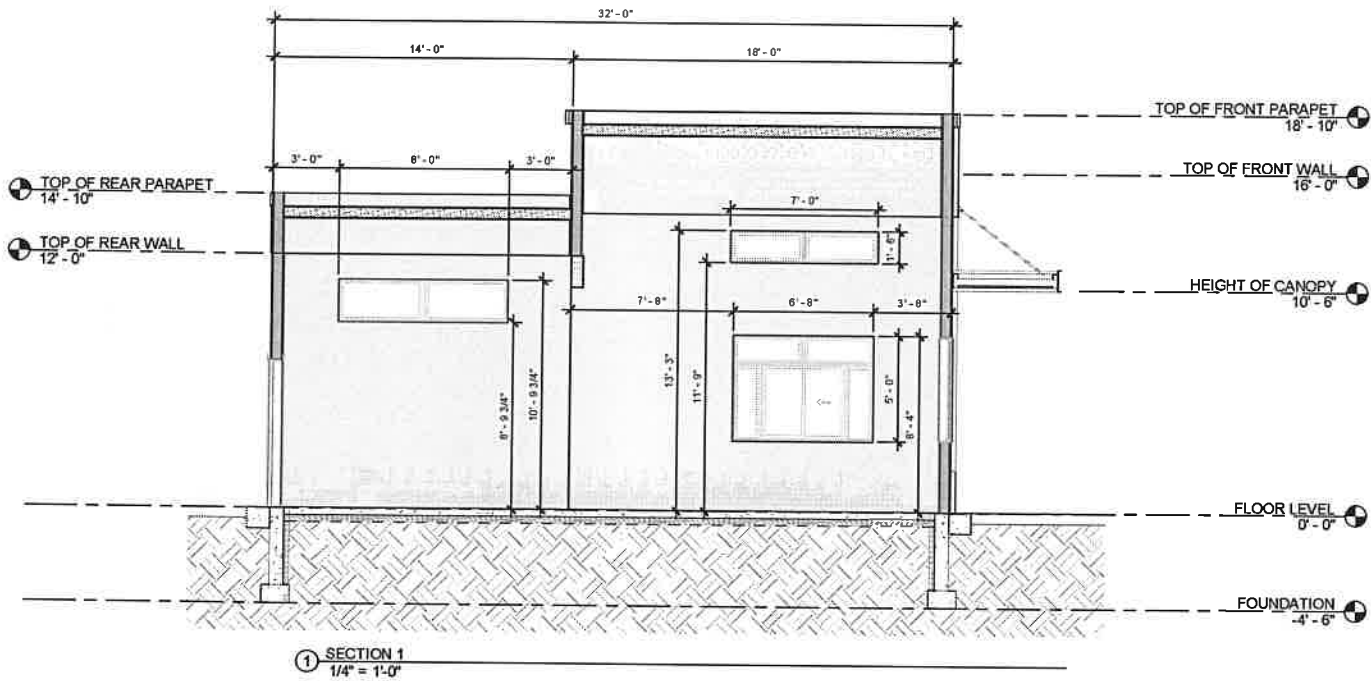
④ WEST ELEVATION - A
1/4" = 1'-0"

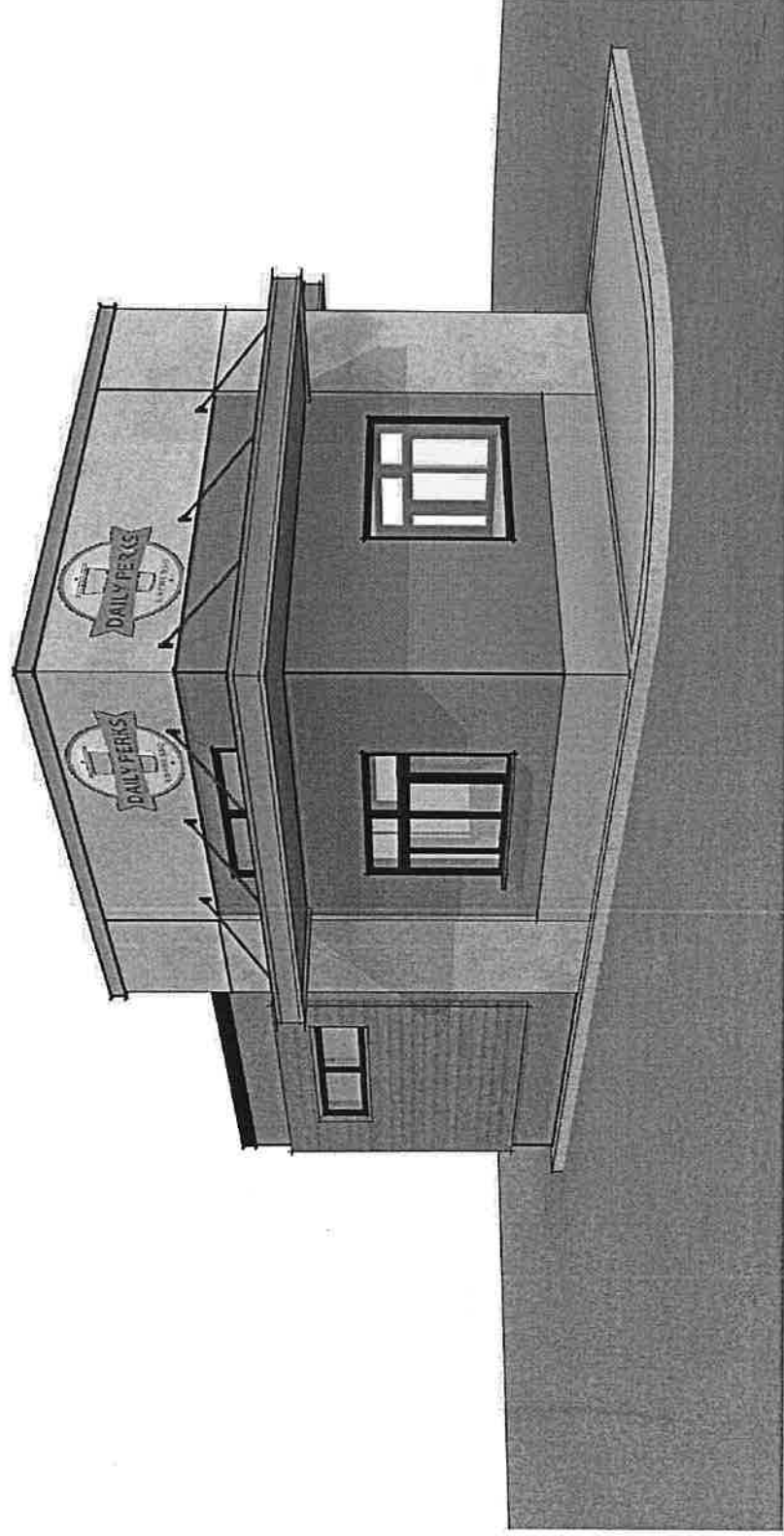
DAILY PERKS ESPRESSO DRIVE THRU
711 EAST VILLARD
DICKINSON, NORTH DAKOTA 58601

BUILDING SECTIONS

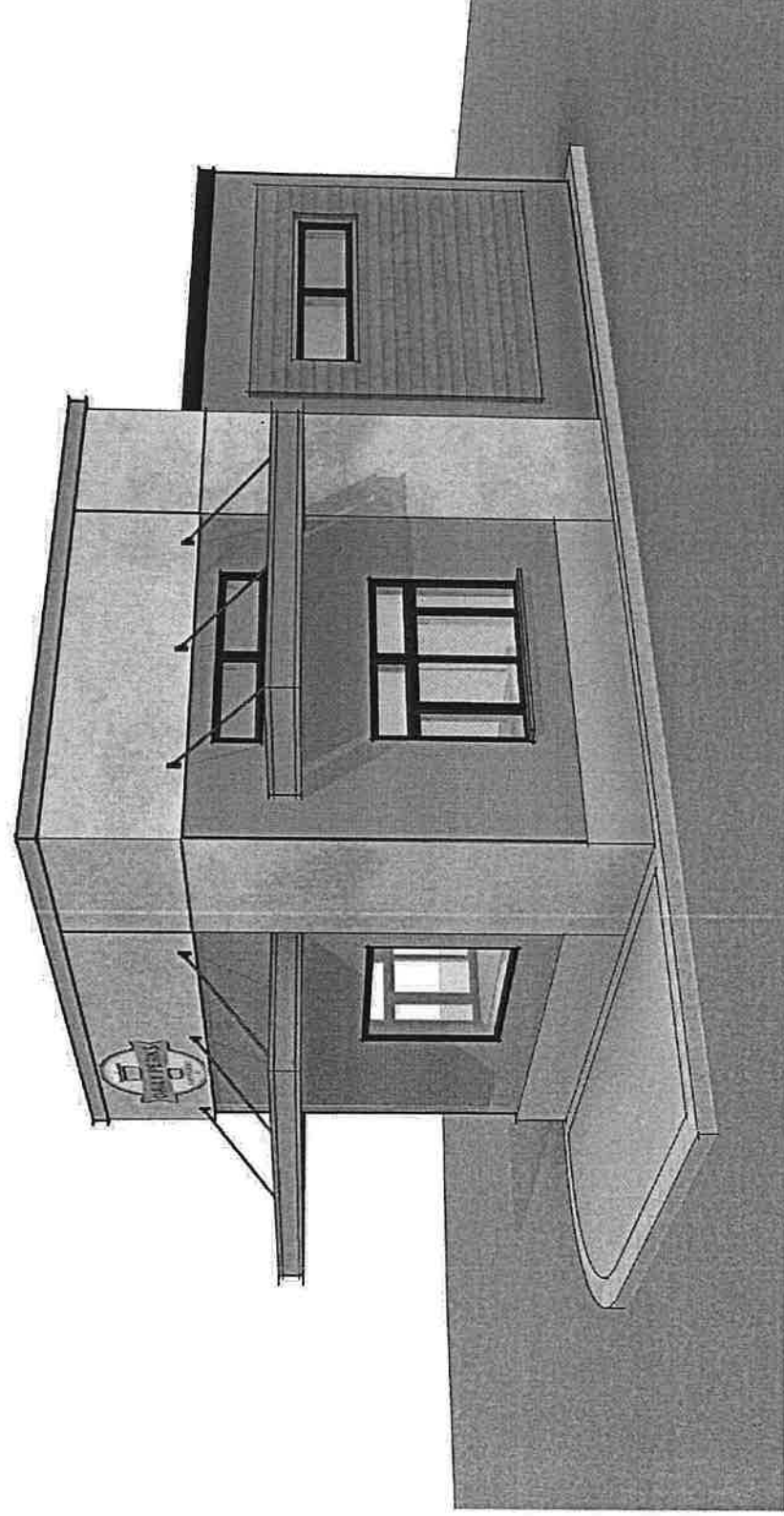
DRAWN BY	PIF
PROJECT #	21103
DATE	2/27/21
SCALE	1/4" = 1'-0"

SHEET
A301

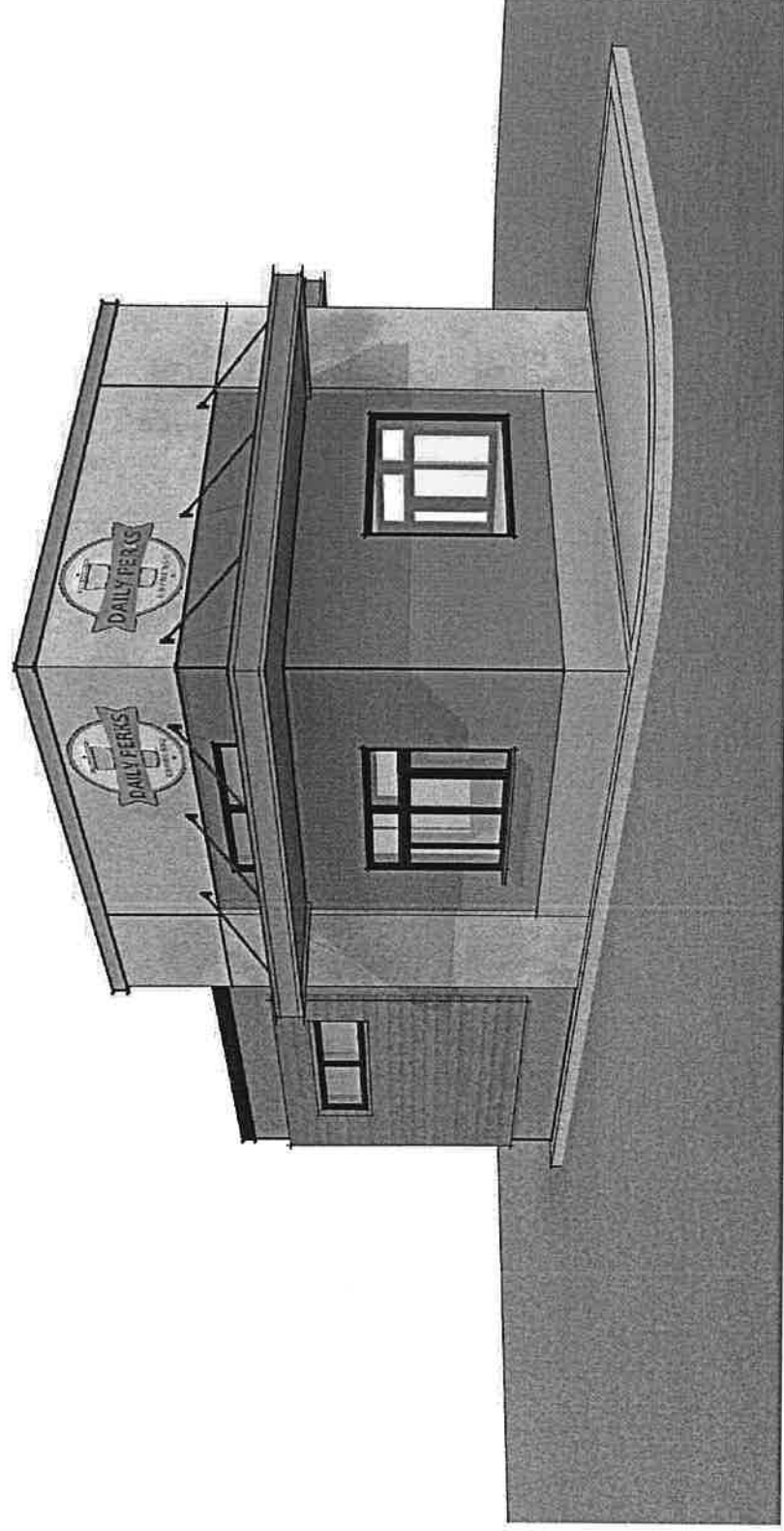




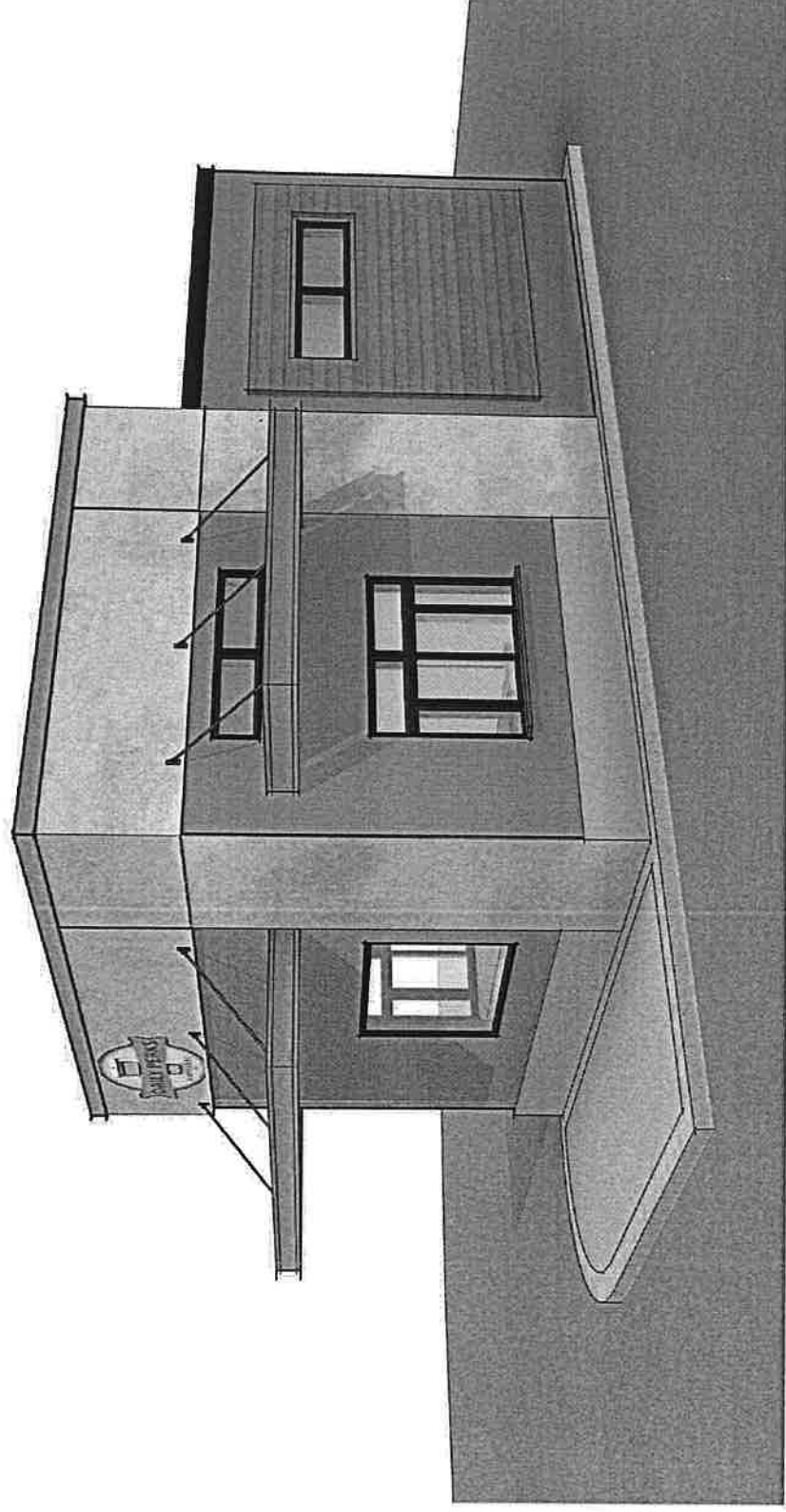
① SOUTH 3D EXTERIOR VIEW



② EAST 3D EXTERIOR VIEW



① SOUTH 3D EXTERIOR VIEW



② EAST 3D EXTERIOR VIEW

