

MARC MEMBERS

President

☐ Lee Pierce
ICON Architects

Vice President

☐ Victoria Vayda-Hammond

☐ Jordan Singer
Building Official

☐ Jarek Wigness
City Engineer

☐ Mitch Bitz
Fire Chief

☐ Shane Weltikol
Resident

☐ Kendra Rennich
Resident

☐ Logan Caldwell
Resident

☐ Jason Angel
Resident

Support Staff

☐ Madison Cermak
*Business Development
Director, City of Mandan*

☐ Johnathan Wagoner
*Administrative Assistant
City of Mandan*

**ARCHITECTURAL REVIEW
COMMISSION
AGENDA FOR
TUESDAY
January 23, 2024
1:00 p.m.**

***Veterans' Conference Room
City Hall, 205 Second Avenue NW***

or

Join Zoom Meeting

https://us06web.zoom.us/j/85466791034?pwd=Xljq_rSPbp0F3zljlwXO3XscKboHad.1

Dial +1 312 626 6799

Meeting ID: 854 6679 1034

Passcode: 732868

ROLL CALL:

OLD BUSINESS:

NEW BUSINESS:

1. Proposal by Kirt Pelster, For Illuminated Sign for Same Day Mattress, located at 216 E Main St.
2. Proposal by Jason With Beaver Creek Builders, for Elevator Addition for 1100 Collins Ave
3. Election of New Officers - President and Vice President.

MINUTES: Approval of December 12th 2023 meeting minutes.

OTHER BUSINESS:

UNFINISHED BUSINESS:

ADJOURN:

Please note: If any commission member would like additional information, please feel free to contact the Building Inspections Department at 667-3230 prior to the meeting.

MANDAN ARCHITECTURAL REVIEW COMMISSION MINUTES

The Mandan Architectural Review Commission (MARC) of Mandan met in session in the Veteran's Conference Room of Mandan City Hall on December 12 2023, at 1:00 Pm. CST.

Chair Pierce called the meeting to order.

ROLL CALL:

Present: Lee Pierce, Victoria Vayda Hammond, Jordan Singer, Jarek Wigness, Shane Weltikol, Mike Kennedy

Absent: Steve Nardello, Kendra Rennich, Logan Caldwell, Madison Cermak, Business Development Director.

Also in attendance: Andrew Stromme, Johnathan Wagoner, Adm. Assistant, Jerry Benson, Ryan Karsky, and Clay Ulrich.

OLD BUSINESS: Change the Date of December 12 Agenda To be Correct.

NEW BUSINESS:

(1) Proposal by Jerry Benson for Adding a Shop to Existing Building for Back of Shop, located at 2201 3rd St SE.

Mr. Benson Explained that he wants to setup a building 50 x 60 building with a 14 x 14-foot Door. He explained that everything is Concrete and all siding for the building with match the existing building present.

Chair Pierce inquired if there were any questions or comments at this time.

Weltikol moved to approve the request for a Back of Shop Building project located at 2201 3rd St Se as presented. Vayda-Hammond seconded the motion. Upon roll call vote, the motion passed unanimously, Contingent on a(n) Acceptable Storm Water Plan.

(2) Proposal by Ryan Karsky for Hailed Out Siding Replacement for Storefront, located at 2511 Old Red Trail.

Ryan explained that they were planning on replacing all the hailed out siding on the storefront. Matching the Bernie's Gas Station on Main Street. Same Tile and Everything. No Changes, Just Fixing Hail Damage.

Chair Pierce inquired if there were any questions or Concerns at this time.

Weltikol moved to approve the request for the Hailed-out Siding project located at 251 Old Red Trail as presented. Kennedy seconded the motion. Upon roll call vote, the motion passed unanimously.

OTHER BUSINESS:

(1) Mike Wanted to know what the process for billboards are, in reference to the billboard that was passed October 2022 MARC meeting.

Singer Explained to him that the billboard in question was passed by the board. He was just not present for the billboard in question.

Unfinished Business:

Steve Nardello Is leaving For Retirement, and Mike Kennedy has Served his term. *Thank you for your service to the MARC.*

MINUTES:

A motion was made to approve the minutes of November 14. Upon roll call vote, the motion passed unanimously

ADJOURNMENT

There being no further business the meeting was adjourned at 1:14 PM

Approved by: _____ Date: _____



ARCHITECTURAL REVIEW COMMISSION APPLICATION

Applications need to be submitted to the Building Inspections Department no later than 12 p.m. (noon) on the Wednesday prior to the scheduled meeting at which consideration is desired. Digital submittals will be accepted. If paper copies are submitted ten (10) copies of the following information are required. Eight (8) copies shall be no larger than 11 x 17 and two copies shall be complete sets, drawn to scale. Incomplete applications will not be accepted. If you have any question call the Building Inspections department at 701-667-3230

1. Description of Proposed Activity: Install illuminated sign on front of building
2. Name of Owner: Kirt Pelster / Same Day Mattress
Mailing Address: 216 E Main St
Phone (Cell) 701-989-2164 (Office) _____
3. Name of Architect if applicable: _____
Mailing Address: _____
Phone (Cell) _____ (Office) _____
4. Name of Contractor: Dollar Signs
Mailing Address: 17 McDougall, Pr. Lincoln, ND 58504
Phone (Cell) 701-301-7332 (Office) _____
5. Parcel Address: 216 E. Main St Mandan
6. Legal Description:
Lot _____ Block _____ Addition _____
Section _____ Township _____ Range _____
7. Zoning: Commercial
8. Special Purpose District: _____
9. Existing Land Use: _____
10. Lot Size (Sq Ft) _____
Existing Bldg Area (Sq Ft) _____
Proposed Bldg Area (Sq Ft) _____
11. Estimated Cost of Project: 3250.00
➤ Is this project receiving incentives from the City of Mandan? Yes ___ No ___
If you are receiving incentives please indicate which programs have been applied for.

I understand the procedures for Architectural Review and have received the checklist (see attached sheet) to be followed for approval as set forth in Chapter 111-1 of the Mandan City Code.

Approvals are subject to compliance with Federal, State and Local regulations.

Applicant: AL Date: 1-8-24



Illuminated Channel Letter Sign

LED Illumination

.040 Aluminum construction

Acrylic Faces w vinyl graphics applied

Power: 110 v input 12v output

Sign will be anchored to the wall using the appropriate masonry fasteners.

Sign will be located at

216 E Main St.

Mandan,ND

Installer:

Dollar Signs

701-301-7332



ARCHITECTURAL REVIEW COMMISSION APPLICATION

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1. Description of Proposed Activity: Add an exterior shaftway for a wheel chair lift
2. Name of Owner: First Baptist Church
Mailing Address: 1100 N Collins
Phone (Cell) _____ (Office) _____
3. Name of Architect if applicable: _____
Mailing Address: _____
Phone (Cell) _____ (Office) _____
4. Name of Contractor: BCC INC / Beaver Creek Builders Inc
Mailing Address: 6245 Stonewood Way BIS, ND 58504
Phone (Cell) 701 527 1204 (Office) _____
5. Parcel Address: _____
6. Legal Description:
Lot _____ Block _____ Addition _____
Section _____ Township _____ Range _____
7. Zoning: _____
8. Special Purpose District: _____
9. Existing Land Use: Church
10. Lot Size (Sq Ft) _____
Existing Bldg Area (Sq Ft) _____
Proposed Bldg Area (Sq Ft) _____
11. Estimated Cost of Project: 45,000.00
➤ Is this project receiving incentives from the City of Mandan? Yes ___ No X
If you are receiving incentives please indicate which programs have been applied for.

I understand the procedures for Architectural Review and have received the checklist (see attached sheet) to be followed for approval as set forth in Chapter 111-1 of the Mandan City Code.

Approvals are subject to compliance with Federal, State and Local regulations.

Applicant: [Signature] Date: 1-17-24

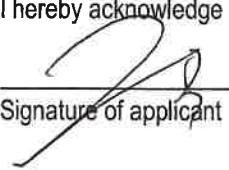


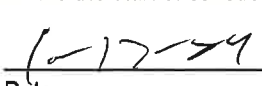
NEW COMMERCIAL APPLICATION AND SITE PLAN REVIEW

Building Department, 205 2nd Ave. NW, Mandan ND 58501 Phone: (701) 667-3230 Fax: (701) 667-3481

Project Name: First Baptist Church		Estimated Cost: 45000.00	
Property Location (Legal Description - Lot, Block, Addition):			
Property Address: 1100 Collins Ave		Existing Use of Land/Bldg: Church	
New Construction, Addition, or Remodel: Addition		Proposed Use of Land/Bldg: Church	
Parcel Size (sf):		Number of Stories: 2	Units: Overall Height:
Detailed Project Description: (please fill out separate permit for each building, if multiple buildings): Add shaftway to exterior of building for a wheelchair lift. The same brick will be used for exterior finish.		Total Square Footage of Building:	
		Number of Off-street parking spaces required:	
		Number of Off-street parking spaces provided:	
PROPERTY OWNER:			
Name First Baptist Church		Daytime Telephone Number:	
Mailing Address:		Email:	
CONTRACTOR			
Name: BCB Inc/Beaver Creek Builders Inc		Name and Email of Contact Person : jason@beavercreekbuilders.com	
Mailing Address: 6245 Stonewood Way Bismarck, ND 58504		Daytime Phone #: 7015271204	ND License #: 33396
CONTACT PERSON (FOR PURPOSE OF PROCESSING THIS APPLICATION):			
Name of Contact Person: Jason		Name of Firm, if applicable:	
Mailing Address:			
Daytime Phone Number: 7015271204		Email Address: jason@beavercreekbuilders.com	
SUB CONTRACTORS			
Zoning District:	Plumbing:	ND License #	
Occupancy Classification:	Heating:	ND License #	
Type of Construction:	Electrical:	ND License #	

I hereby acknowledge that this application is not a Building Permit, nor does it authorize the start of construction.


Signature of applicant


Date

Mandan, North Dakota

Google Street View

Jul 2023 See more dates

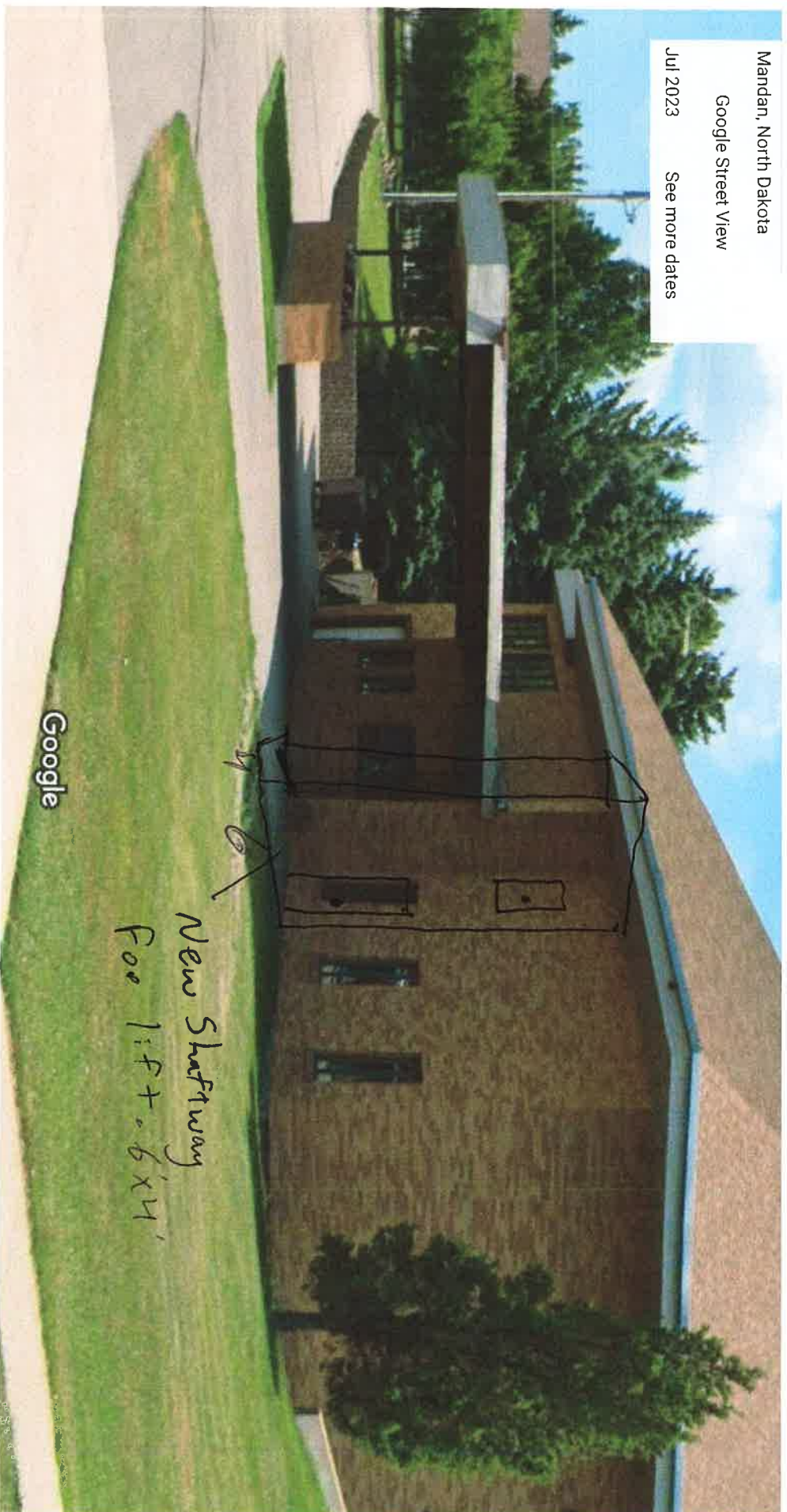


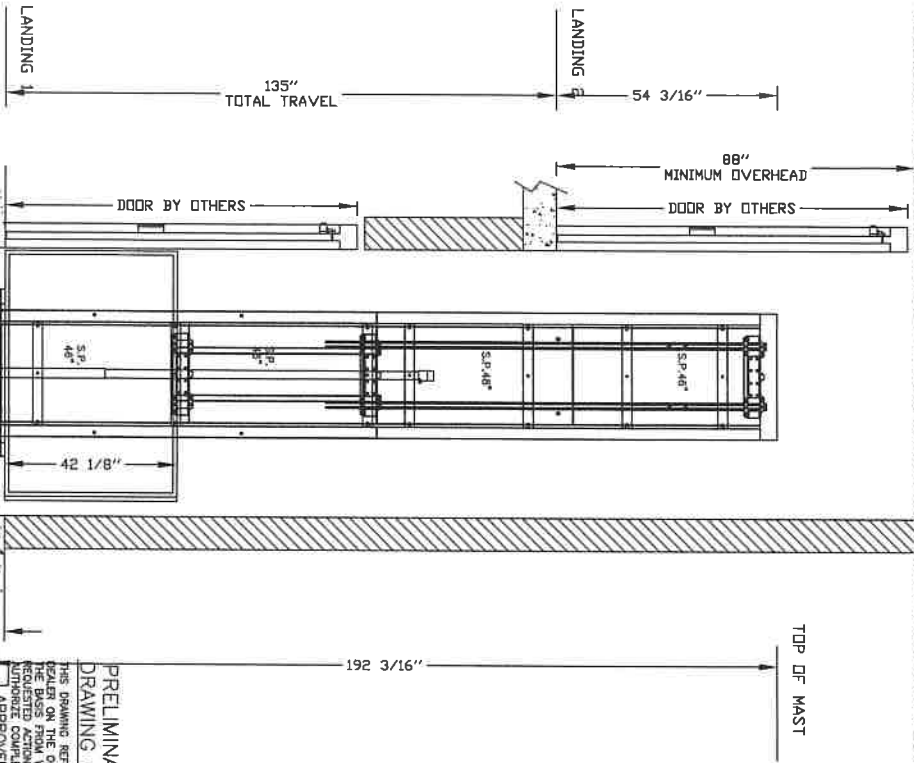
Image capture: Jul 2023 © 2024 Google



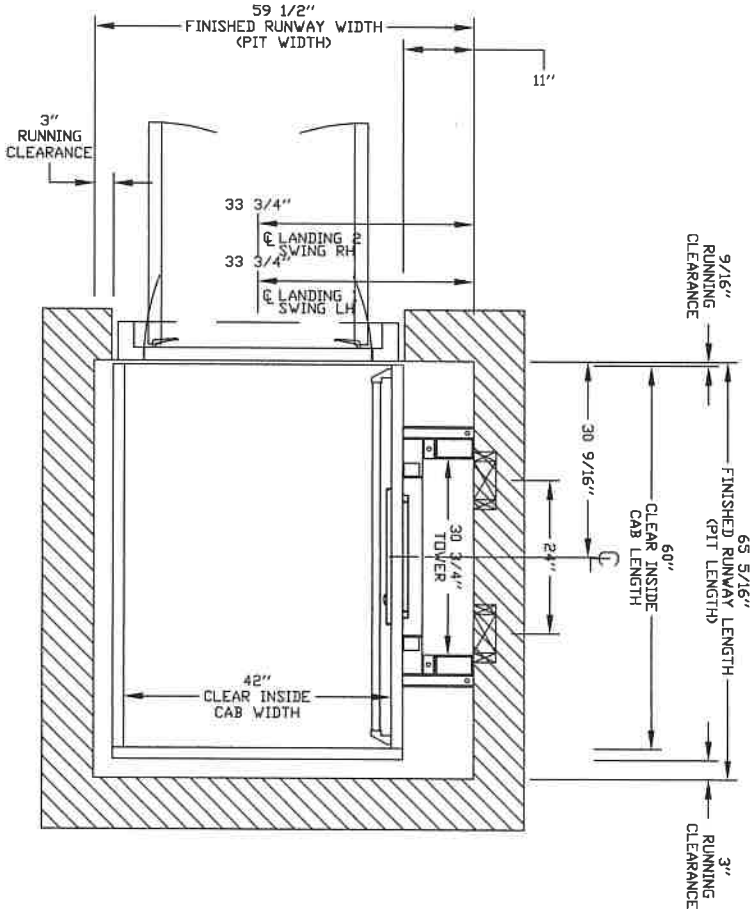


PLEASE NOTE:
OVERALL HOISTWAY LENGTH AND WIDTH DIMENSIONS ARE
FROM DRYWALL TO DRYWALL (WHERE APPLICABLE)

TYPICAL PLAN



ELEVATION B-B



PRELIMINARY DRAWING ONLY
DRAWING APPROVAL:

THIS DRAWING REFLECTS OUR INTERPRETATION OF THE INFORMATION PROVIDED BY THE
CLIENT ON THE ORDER FORM. THIS INFORMATION IS THE CLIENT'S RESPONSIBILITY, AND IS
NOT TO BE USED FOR ANY OTHER PURPOSE. IF THE CLIENT WANTS TO MAKE ANY
CHANGES TO THE DRAWING, THEY MUST BE MADE BEFORE THE DRAWING IS
APPROVED. IF THE CLIENT WANTS TO MAKE ANY CHANGES TO THE DRAWING,
THEY MUST BE MADE BEFORE THE DRAWING IS APPROVED.

- ☐ APPROVED WITH NO EXCEPTIONS
- ☐ APPROVED WITH EXCEPTIONS, NO REAPPROVAL
REQUIRED
- ☐ APPROVED WITH EXCEPTIONS, NO REAPPROVAL
REQUIRED
- ☐ CHANGE AS NOTED, REAPPROVAL REQUIRED
MAKE CHANGES AS NOTED, SEND CORRECTED DRAWING FOR
REAPPROVAL BEFORE MANUFACTURE

GENERAL ARRANGEMENT
ENCLOSED VERTICAL WHEELCHAIR PLATFORM LIFT

CLIENT: GREAT PLAINS RESTORATIVE SER. LLC
ADDRESS: BEAVER CREEK
1700 - Street, City

DATE: 12-21-23
DRAWN BY: 1122722
CHECKED BY: 1122722
SHEET NO. 1 OF 3

