



**MANDAN ARCHITECTURAL REVIEW
COMMISSION
AGENDA
JULY 28, 2026
VETERAN'S CONFERENCE ROOM
CITY HALL, 205 SECOND AVENUE NW
1:00 PM
WWW.CITYOFMANDAN.COM**

The public may access the Teams meeting online at:

<https://teams.microsoft.com/meet/298111224104734?p=xAgd3o3HK9Vnk3xBBp>

Meeting ID: 298 111 224 104 734

Passcode: eP7TN9DP

A. ROLL CALL

B. MINUTES

1. June 9th MARC Meeting Minutes

C. OLD BUSINESS

D. NEW BUSINESS

1. Proposal for Shop Condos at 4723 29th st SE

E. OTHER BUSINESS

F. UNFINISHED BUSINESS

G. ADJOURN

MARC Members

Matthew Bradley - President
Victoria Vayda-Hammond - Vice President
Shane Weltikol - Resident
Jordan Schneider - Resident
Kari Nardello - Resident
Ryan Welder - Resident
Jordan Singer - Building Official
Jarek Wigness - City Engineer
Mitch Bitz - Fire Chief

Support Staff (City of Mandan)

Brittany Thomas - Permit Technician
Vacant - Planner
Madison Cermak - Business Development

Please note: If any commission member would like additional information, please feel free to contact the Building Inspections Department at 667-3230 prior to the meeting.

June 9th MARC Meeting Minutes

Meeting roll call members, Riley McAdoo-Roesler, Ryan Welder, Kari Nardello, Jordan Schneider, Victoria Vayda-Hammond, Jordan Singer.

Also in attendance online was Emily Reed, Alexandra Rodriguez, Lisa Ruiz presenting the Walmart project, and in the meeting Alex Pool, Ashley Pool, and Nick Kelly presenting Red Top Towing.

Nardello made a motion to approve the May 26th MARC Meeting Minutes.

McAdoo-Roesler seconded the motion.

MARC Members had a unanimous vote to approve the May 26th MARC Meeting Minutes.

New Business

A Painting project at 1000 Old Red Trail, they will be repainting the exterior and updating all the signage. The painting will be on the front side of the building; the colors will be grey and blue. Grey will be on the CMU portions, and blue will be on the EFIS portions, above the vestibule and behind the main Walmart branding. They will be updating all the Walmart signs as well; it will be a new font style as it's the new Walmart brand. The square footage will be moving from 400 to 490 square feet. The Walmart sign and the Pickup signage will be internally illuminated as well. The specific color of the blue is called True Blue.

Vayda-Hammond asked what their starting date is, and if they have a contractor yet, and they would like to start as soon as possible, but they do not have a contractor yet but will update as soon as they do.

Singer asked if there would be any blocking of entrances during the project as people will be in and out of the store, there will not be any issues with having to close entrances during the project and no parking will be lost during this as well.

McAdoo-Roesler made a motion to approve the project.

Welder seconded the motion.

MARC Members unanimously approved the project.

In more new business, there is a project at Business Loop I-94 for a new building for Red Top Towing.

The shop will be under 500 sq feet, they will have fireproof walls which have already been engineered, and in between the shop and the office will have a firewall. The property is currently fenced in, and they will have a dumpster enclosure and a tree row going North

and West. The doors will face South, the shop is 60X80 and the office is 30X39. The colors of their building will remain red and a plain white.

Vayda-Hammond asked what kind of trees they plan on planting, and they would like to plant pine or evergreen.

Riley made a motion to approve this project contingent on adding a sign with an awning and windows.

Vayda-Hammond seconded the motion.

MARC Members unanimously approved the project with a 5-1 vote.

The meeting was adjourned.



ARCHITECTURAL REVIEW COMMISSION APPLICATION

Applications need to be submitted to the Building Inspections Department no later than 12 p.m. (noon) on the Wednesday prior to the scheduled meeting at which consideration is desired. Digital submittals will be accepted. If paper copies are submitted a copy of the following information is required. They shall be no larger than 11 x 17 and need to have complete sets, drawn to scale. Incomplete applications will not be accepted. If you have any question call the Building Inspections department at 701-667-3230.

1. Description of Proposed Activity: Construction of multi-use shops/condos for personal use & storage
2. Name of Owner: Marina Bay, LLP
Mailing Address: PO Box 4202, Bismarck, ND 58502
Phone (Cell) _____ (Office) 701 222 2000
3. Name of Architect if applicable: _____
Mailing Address: _____
Phone (Cell) _____ (Office) _____
4. Name of Contractor: Artisan Homes
Mailing Address: 2527 Railroad Ave., Bismarck, ND 58501
Phone (Cell) _____ (Office) 701 401 2470
5. Parcel Address: 4723 29th ave SE
6. Legal Description:
Lot 35 Block 1 Addition Marina Bay Addition
Section 6 Township 138 N. Range 80 W.
7. Zoning: CC
8. Special Purpose District: Gateway Overlay District
9. Existing Land Use: Outdoor storage & parking
10. Lot Size (Sq Ft) 20.8 AC +/-
Existing Bldg Area (Sq Ft) N-A
Proposed Bldg Area (Sq Ft) 40,350 SF +/-
11. Estimated Cost of Project: N-A
➤ Is this project receiving incentives from the City of Mandan? Yes ___ No X
If you are receiving incentives please indicate which programs have been applied for.

I understand the procedures for Architectural Review and have received the checklist (see attached sheet) to be followed for approval as set forth in Chapter 111-1 of the Mandan City Code.

Approvals are subject to compliance with Federal, State and Local regulations.

Applicant: Eric Montz Date: 7/2/2026



CHECK LIST FOR ARCHITECTURAL REVIEW COMMISSION APPLICATION

Applications need to be submitted to the Building Inspections Department no later than 12 p.m. (noon) on the Wednesday prior to the scheduled meeting at which consideration is desired. Digital submittals will be accepted. If paper copies are submitted ten (10) copies of the following information are required. Eight (8) copies shall be no larger than 11 x 17 and two copies shall be complete sets, drawn to scale. Incomplete applications will not be accepted. If you have any question call the Building Inspections department at 701-667-3230.

A. Plot Plan - Drawn to Scale

- X 1. Boundaries-Indicate North Arrow
- X 2. Road(s) fronted upon
- X 3. Utility lines or easements-existing and planned
- X 4. Major topographic features-existing and planned-drainage
- X 5. Landscaping and major vegetative cover-existing and planned
- X 6. Location of structure(s) on site; existing and proposed
 - a. Includes dimensions
 - b. Includes set back distances
 - c. Includes exterior security and area lighting, fire hydrants (must indicate if 350 feet or less from proposed project), etc.
 - d. Dumpsters and screen walls
- X 7. Vehicular and pedestrian plans.
 - a. Parking. Include number of spaces including handicapped parking, location, hard surfacing, etc.
- X 8. Signage

B. Photos and/or Samples of Proposed Building Exterior, Including Exterior Colors

C. Elevation Architectural Plans to Scale

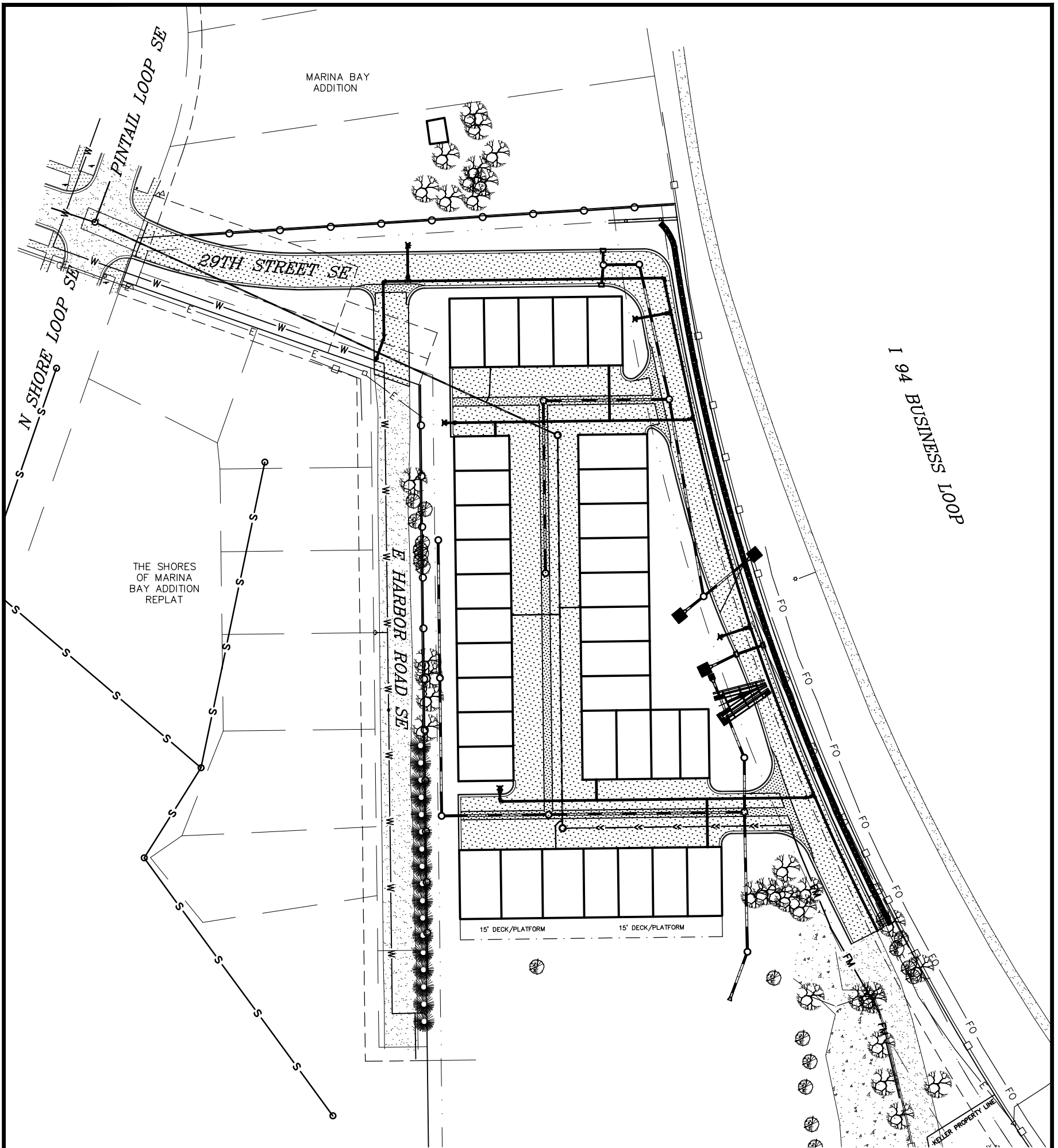
- X 1. Elevation drawings to include ALL sides.

D. Two Copies of the Storm Water Management Systems. This must be certified by an engineer. If not applicable, submit in writing why you think it should not affect the existing system.

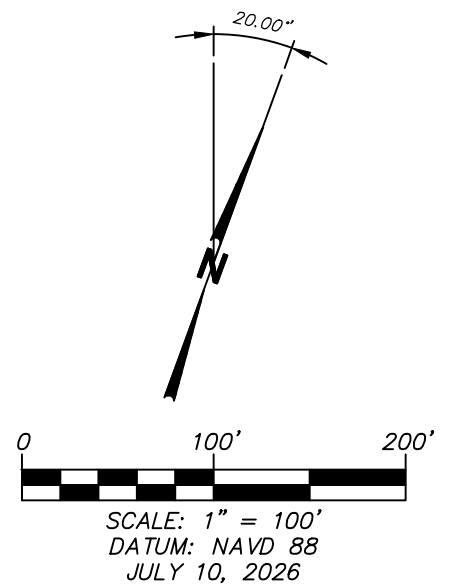
E. The owner, whenever possible, and the contractor or a representative needs to be present at the scheduled meeting.

Note: If your project is for exterior improvements to a building with no additions, driveway, sidewalk, landscaping, or grading to the lot only the information in sections B and C are required. Incomplete applications will not be accepted.

The Architectural Review Board has a regularly scheduled meeting every 2nd and 4th Tuesday at 1 p.m. in City Hall. Applications may be accepted and/or scheduled up to the prior Wednesday at 12 p.m. (noon).



**FOR REGULATORY REVIEW ONLY
NOT APPROVED FOR CONSTRUCTION**



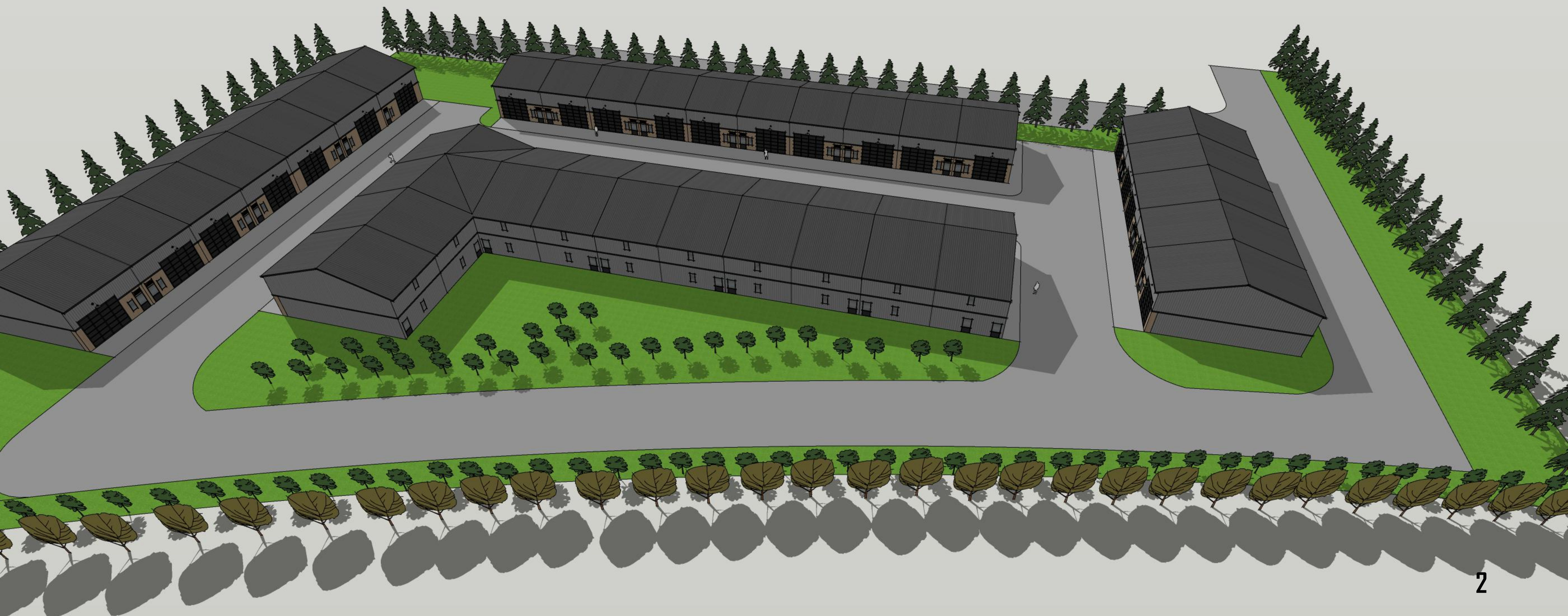
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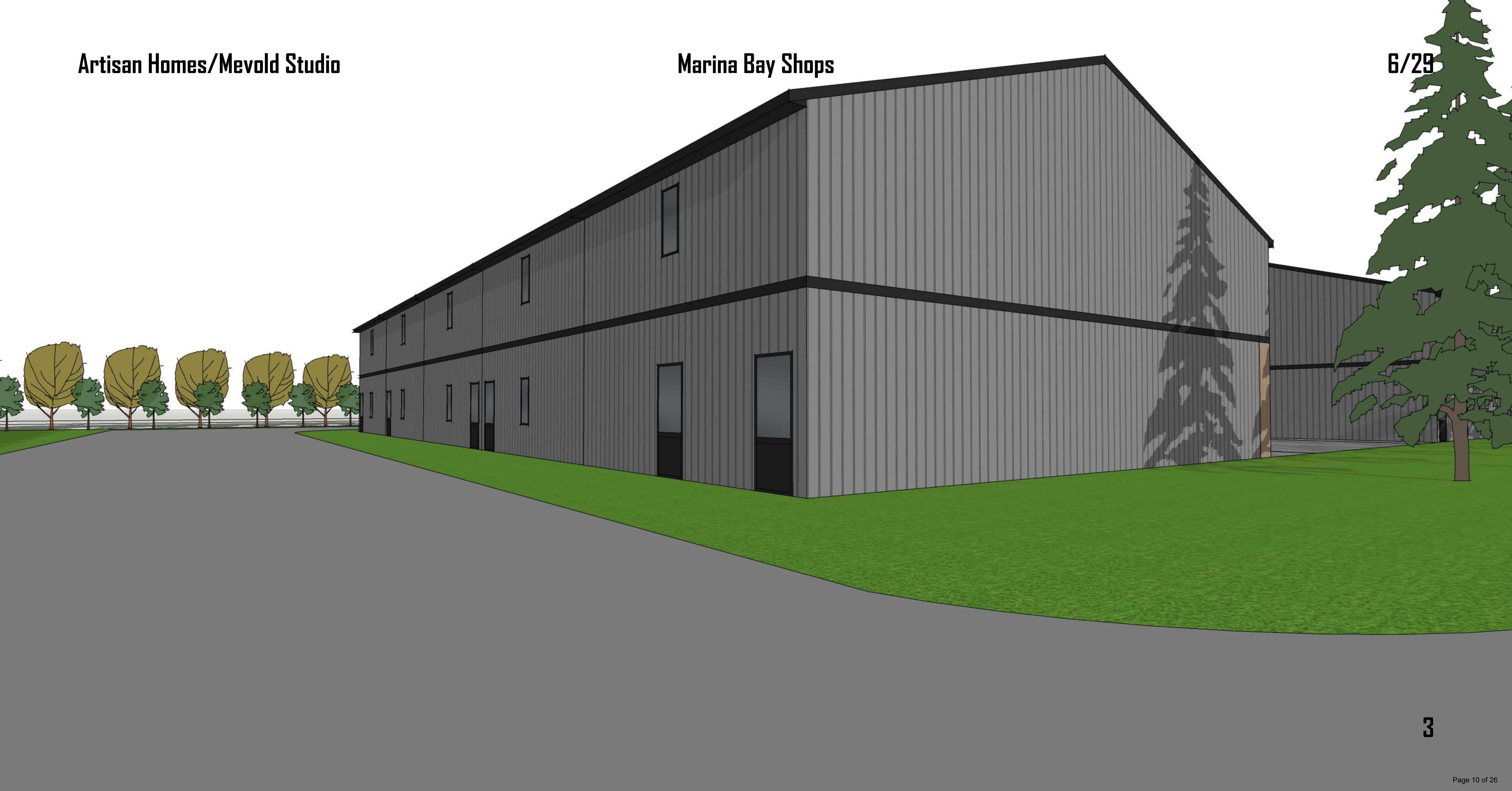
Surveying
Hydrology
Land Planning
Civil Engineering
Landscape & Site Design
Construction Management

3002 Airway Avenue
Bismarck, North Dakota 58504
sheng@swensonhagen.com
Phone (701) 223 - 2600
Fax (701) 223 - 2606

EXHIBIT - SPECIAL USE PERMIT
LOT 35 BLOCK 1 MARINA BAY
MANDAN, NORTH DAKOTA







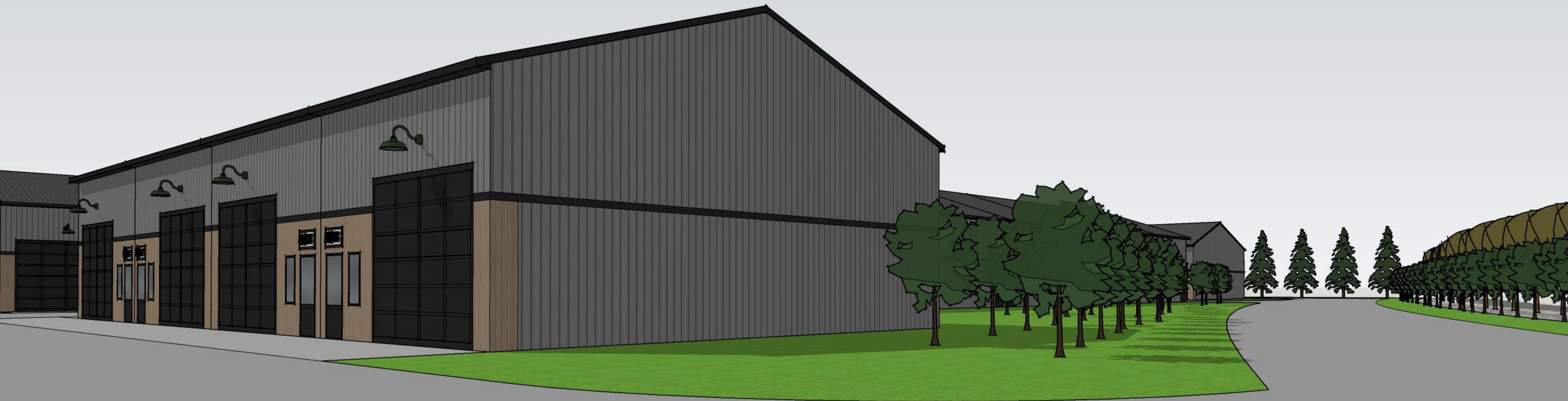




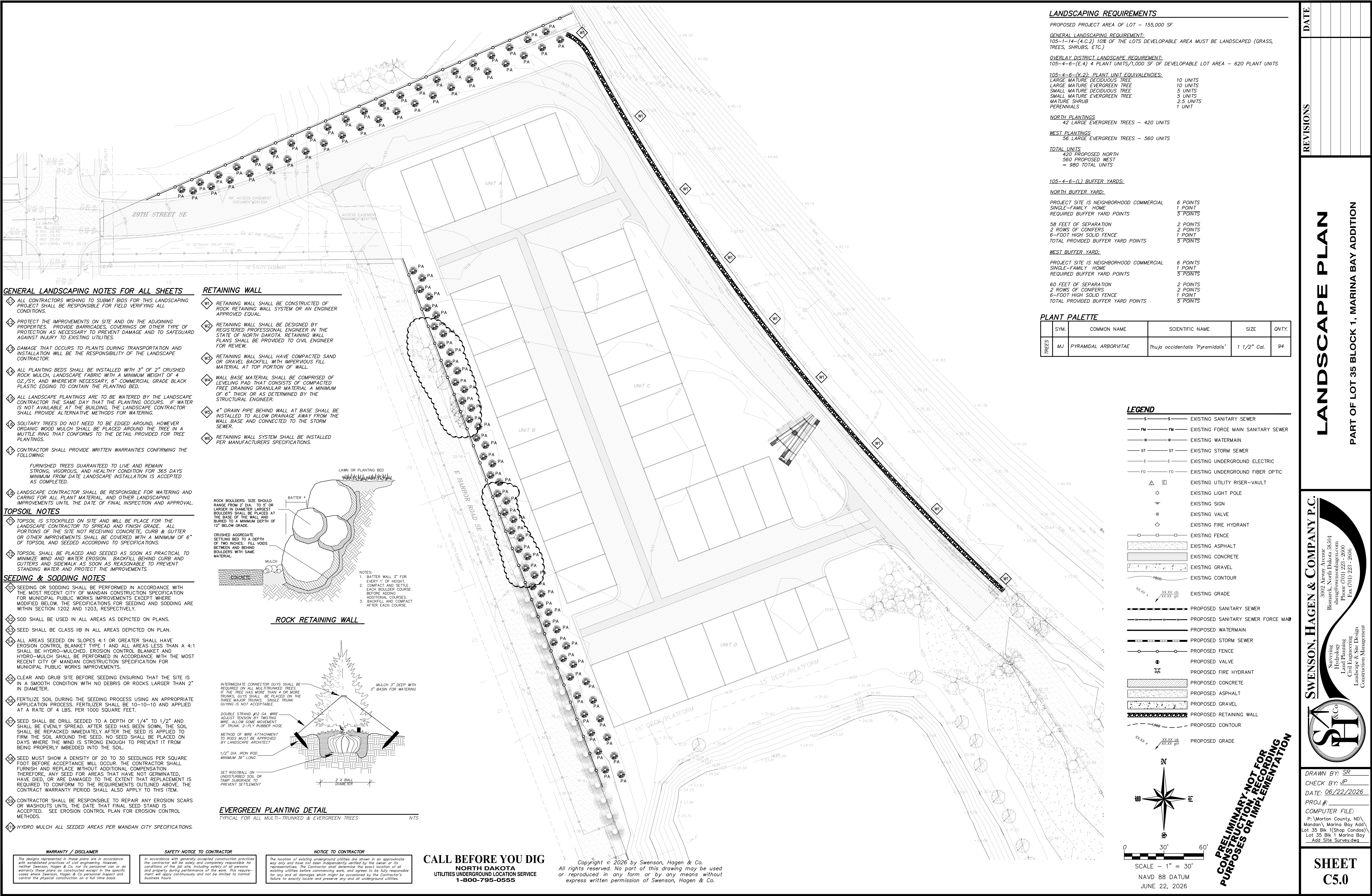












GENERAL LANDSCAPING NOTES FOR ALL SHEETS

- ALL CONTRACTORS WISHING TO SUBMIT BIDS FOR THIS LANDSCAPING PROJECT SHALL BE RESPONSIBLE FOR FIELD VERIFYING ALL CONDITIONS.
- PROTECT THE IMPROVEMENTS ON SITE AND ON THE ADJOINING PROPERTIES. PROVIDE BARRICADES, COVERINGS OR OTHER TYPE OF PROTECTION AS NECESSARY TO PREVENT DAMAGE AND TO SAFEGUARD AGAINST INJURY TO EXISTING UTILITIES.
- DAMAGE THAT OCCURS TO PLANTS DURING TRANSPORTATION AND INSTALLATION WILL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR.
- ALL PLANTING BEDS SHALL BE INSTALLED WITH 3" OF 2" CRUSHED ROCK MULCH, LANDSCAPE FABRIC WITH A MINIMUM WEIGHT OF 4 OZ./SY, AND WHERE NECESSARY, 6" COMMERCIAL GRADE BLACK PLASTIC EDGING TO CONTAIN THE PLANTING BED.
- ALL LANDSCAPE PLANTINGS ARE TO BE WATERED BY THE LANDSCAPE CONTRACTOR THE SAME DAY THAT THE PLANTING OCCURS. IF WATER IS NOT AVAILABLE AT THE BUILDING, THE LANDSCAPE CONTRACTOR SHALL PROVIDE ALTERNATIVE METHODS FOR WATERING.
- SOLITARY TREES DO NOT NEED TO BE EDGED AROUND, HOWEVER ORGANIC WOOD MULCH SHALL BE PLACED AROUND THE TREE IN A MUTTLE RING THAT CONFORMS TO THE DETAIL PROVIDED FOR TREE PLANTINGS.
- CONTRACTOR SHALL PROVIDE WRITTEN WARRANTIES CONFIRMING THE FOLLOWING:
 - FURNISHED TREES GUARANTEED TO LIVE AND REMAIN STRONG, VIGOROUS, AND HEALTHY CONDITION FOR 365 DAYS MINIMUM FROM DATE LANDSCAPE INSTALLATION IS ACCEPTED AS COMPLETED.

TOPSOIL NOTES

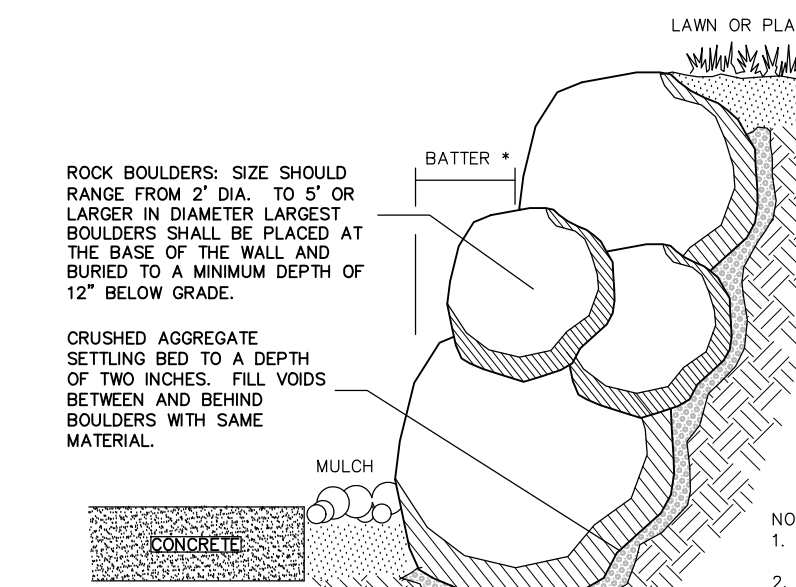
- TOPSOIL IS STOCKPILED ON SITE AND WILL BE PLACE FOR THE LANDSCAPE CONTRACTOR TO SPREAD AND FINISH GRADE. ALL PORTIONS OF THE SITE NOT RECEIVING CONCRETE, CURB & GUTTER OR OTHER IMPROVEMENTS SHALL BE COVERED WITH A MINIMUM OF 6" OF TOPSOIL AND SEEDDED ACCORDING TO SPECIFICATIONS.
- TOPSOIL SHALL BE PLACED AND SEEDDED AS SOON AS PRACTICAL TO MINIMIZE WIND AND WATER EROSION. BACKFILL BEHIND CURB AND GUTTERS AND SIDEWALK AS SOON AS REASONABLE TO PREVENT STANDING WATER AND PROTECT THE IMPROVEMENTS.

SEEDING & SODDING NOTES

- SEEDING OR SODDING SHALL BE PERFORMED IN ACCORDANCE WITH THE MOST RECENT CITY OF MANDAN CONSTRUCTION SPECIFICATION FOR MUNICIPAL PUBLIC WORKS IMPROVEMENTS EXCEPT WHERE MODIFIED BELOW. THE SPECIFICATIONS FOR SEEDING AND SODDING ARE WITHIN SECTION 1202 AND 1203, RESPECTIVELY.
- SOD SHALL BE USED IN ALL AREAS AS DEPICTED ON PLANS.
- SEED SHALL BE CLASS IIB IN ALL AREAS DEPICTED ON PLAN.
- ALL AREAS SEEDED ON SLOPES 4:1 OR GREATER SHALL HAVE EROSION CONTROL BLANKET TYPE 1 AND ALL AREAS LESS THAN A 4:1 SHALL BE HYDRO-MULCHED. EROSION CONTROL BLANKET AND HYDRO-MULCH SHALL BE PERFORMED IN ACCORDANCE WITH THE MOST RECENT CITY OF MANDAN CONSTRUCTION SPECIFICATION FOR MUNICIPAL PUBLIC WORKS IMPROVEMENTS.
- CLEAR AND GRUB SITE BEFORE SEEDING ENSURING THAT THE SITE IS IN A SMOOTH CONDITION WITH NO DEBRIS OR ROCKS LARGER THAN 2" IN DIAMETER.
- FERTILIZE SOIL DURING THE SEEDING PROCESS USING AN APPROPRIATE APPLICATION PROCESS. FERTILIZER SHALL BE 10-10-10 AND APPLIED AT A RATE OF 4 LBS. PER 1000 SQUARE FEET.
- SEED SHALL BE DRILL SEED TO A DEPTH OF 1/4" TO 1/2" AND SHALL BE EVENLY SPREAD. AFTER SEED HAS BEEN SOWN, THE SOIL SHALL BE REPACKED IMMEDIATELY AFTER THE SEED IS APPLIED TO FIRM THE SOIL AROUND THE SEED. NO SEED SHALL BE PLACED ON DAYS WHERE THE WIND IS STRONG ENOUGH TO PREVENT IT FROM BEING PROPERLY IMBEDDED INTO THE SOIL.
- SEED MUST SHOW A DENSITY OF 20 TO 30 SEEDLINGS PER SQUARE FOOT BEFORE ACCEPTANCE WILL OCCUR. THE CONTRACTOR SHALL FURNISH AND REPLACE WITHOUT ADDITIONAL COMPENSATION THEREFORE, ANY SEED FOR AREAS THAT HAVE NOT GERMINATED, HAVE DIED, OR ARE DAMAGED TO THE EXTENT THAT REPLACEMENT IS REQUIRED TO CONFORM TO THE REQUIREMENTS OUTLINED ABOVE. THE CONTRACT WARRANTY PERIOD SHALL ALSO APPLY TO THIS ITEM.
- CONTRACTOR SHALL BE RESPONSIBLE TO REPAIR ANY EROSION SCARS OR WASHOUTS UNTIL THE DATE THAT FINAL SEED STAND IS ACCEPTED. SEE EROSION CONTROL PLAN FOR EROSION CONTROL METHODS.
- HYDRO MULCH ALL SEEDED AREAS PER MANDAN CITY SPECIFICATIONS.

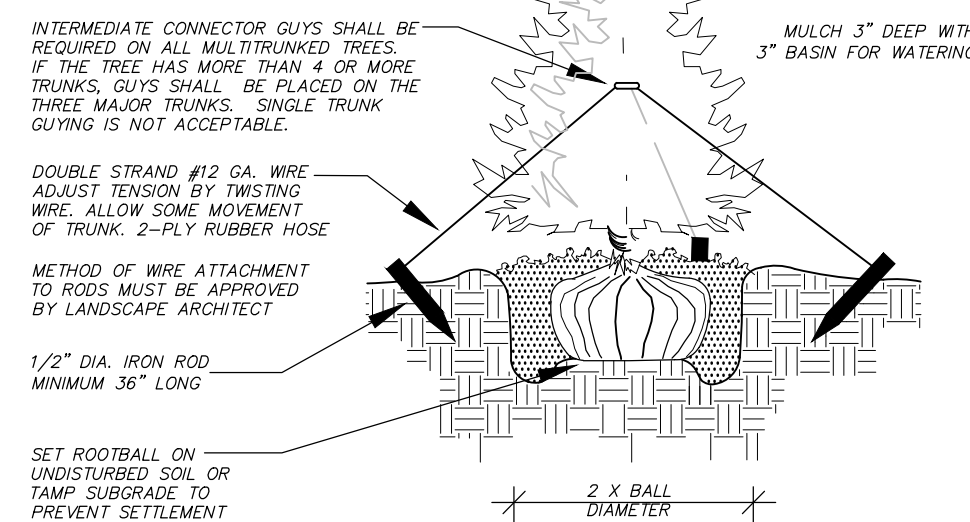
RETAINING WALL

- RETAINING WALL SHALL BE CONSTRUCTED OF ROCK RETAINING WALL SYSTEM OR AN ENGINEER APPROVED EQUAL.
- RETAINING WALL SHALL BE DESIGNED BY REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF NORTH DAKOTA. RETAINING WALL PLANS SHALL BE PROVIDED TO CIVIL ENGINEER FOR REVIEW.
- RETAINING WALL SHALL HAVE COMPACTED SAND OR GRAVEL BACKFILL WITH IMPERVIOUS FILL MATERIAL AT TOP PORTION OF WALL.
- WALL BASE MATERIAL SHALL BE COMPRISED OF LEVELING PAD THAT CONSISTS OF COMPACTED FREE DRAINING GRANULAR MATERIAL A MINIMUM OF 6" THICK OR AS DETERMINED BY THE STRUCTURAL ENGINEER.
- 4" DRAIN PIPE BEHIND WALL AT BASE SHALL BE INSTALLED TO ALLOW DRAINAGE AWAY FROM THE WALL BASE AND CONNECTED TO THE STORM SEWER.
- RETAINING WALL SYSTEM SHALL BE INSTALLED PER MANUFACTURERS SPECIFICATIONS.



- NOTES:
 - 1. BATTER WALL 3" FOR EVERY 1' OF HEIGHT.
 - 2. COMPACT AND SETTLE EACH BOLLER COURSE BEFORE ADDING ADDITIONAL COURSES. BACKFILL AND COMPACT AFTER EACH COURSE.

ROCK RETAINING WALL



EVERGREEN PLANTING DETAIL

TYPICAL FOR ALL MULTI-TRUNKED & EVERGREEN TREES NTS

LANDSCAPING REQUIREMENTS

PROPOSED PROJECT AREA OF LOT - 153,000 SF

GENERAL LANDSCAPING REQUIREMENT:
105-1-14-(4.C.2) 10% OF THE LOTS DEVELOPABLE AREA MUST BE LANDSCAPED (GRASS, TREES, SHRUBS, ETC.)

OVERLAY DISTRICT LANDSCAPE REQUIREMENT:
105-4-6-(E.4) 4 PLANT UNITS/1,000 SF OF DEVELOPABLE LOT AREA - 620 PLANT UNITS

105-4-6-(K.2): PLANT UNIT EQUIVALENCIES:
LARGE MATURE DECIDUOUS TREE 10 UNITS
LARGE MATURE EVERGREEN TREE 10 UNITS
SMALL MATURE DECIDUOUS TREE 5 UNITS
SMALL MATURE EVERGREEN TREE 5 UNITS
MATURE SHRUB 2.5 UNITS
PERENNIALS 1 UNIT

NORTH PLANTINGS
42 LARGE EVERGREEN TREES - 420 UNITS

WEST PLANTINGS
56 LARGE EVERGREEN TREES - 560 UNITS

TOTAL UNITS
420 PROPOSED NORTH
560 PROPOSED WEST
= 980 TOTAL UNITS

105-4-6-(L) BUFFER YARDS:

NORTH BUFFER YARD:
PROJECT SITE IS NEIGHBORHOOD COMMERCIAL SINGLE-FAMILY HOME
REQUIRED BUFFER YARD POINTS 6 POINTS
1 POINT
5 POINTS

58 FEET OF SEPARATION
2 ROWS OF CONIFERS 2 POINTS
6-FOOT HIGH SOLID FENCE 1 POINT
TOTAL PROVIDED BUFFER YARD POINTS 5 POINTS

WEST BUFFER YARD:
PROJECT SITE IS NEIGHBORHOOD COMMERCIAL SINGLE-FAMILY HOME
REQUIRED BUFFER YARD POINTS 6 POINTS
1 POINT
5 POINTS

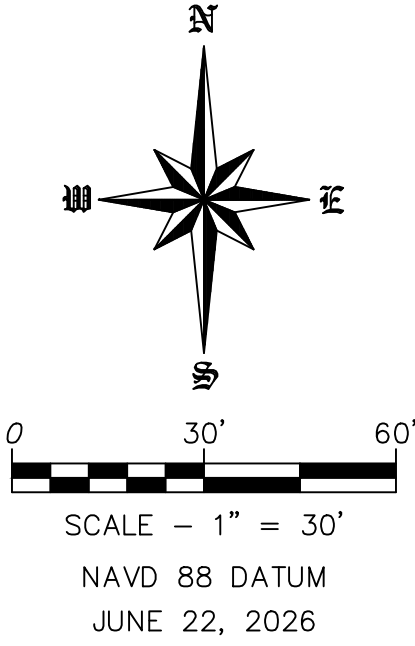
60 FEET OF SEPARATION
2 ROWS OF CONIFERS 2 POINTS
6-FOOT HIGH SOLID FENCE 1 POINT
TOTAL PROVIDED BUFFER YARD POINTS 5 POINTS

PLANT PALETTE

	SYM.	COMMON NAME	SCIENTIFIC NAME	SIZE	QNTY.
TREES	MJ	PYRAMIDAL ARBORVITAE	Thuja occidentalis 'Pyramidalis'	1 1/2" Cal.	94

LEGEND

- S S EXISTING SANITARY SEWER
- FM FM EXISTING FORCE MAIN SANITARY SEWER
- W W EXISTING WATERMAIN
- ST ST EXISTING STORM SEWER
- E E EXISTING UNDERGROUND ELECTRIC
- FO FO EXISTING UNDERGROUND FIBER OPTIC
- EXISTING UTILITY RISER-VAULT
- EXISTING LIGHT POLE
- EXISTING SIGN
- EXISTING VALVE
- EXISTING FIRE HYDRANT
- EXISTING FENCE
- EXISTING ASPHALT
- EXISTING CONCRETE
- EXISTING GRAVEL
- EXISTING CONTOUR
- EXISTING GRADE
- PROPOSED SANITARY SEWER
- PROPOSED SANITARY SEWER FORCE MAIN
- PROPOSED WATERMAIN
- PROPOSED STORM SEWER
- PROPOSED FENCE
- PROPOSED VALVE
- PROPOSED FIRE HYDRANT
- PROPOSED CONCRETE
- PROPOSED ASPHALT
- PROPOSED GRAVEL
- PROPOSED RETAINING WALL
- PROPOSED CONTOUR
- PROPOSED GRADE



PRELIMINARY-NOT FOR CONSTRUCTION-RECORDING PURPOSES OR IMPLEMENTATION

WARRANTY / DISCLAIMER

The designs represented in these plans are in accordance with established practices of civil engineering. However, neither Swenson, Hagen & Co. nor its personnel can or do warrant these plans as constructed except in the specific cases where Swenson, Hagen & Co personnel inspect and control the physical construction on a full time basis.

SAFETY NOTICE TO CONTRACTOR

In accordance with generally accepted construction practices the contractor will be solely and completely responsible for the safety of all persons and property during performance of the work. This requirement will apply continuously and not be limited to normal business hours.

NOTICE TO CONTRACTOR

The location of existing underground utilities are shown in an approximate way only and have not been independently verified by the owner or its representatives. The Contractor shall determine the exact location of all existing utilities before commencing work, and agree to be fully responsible for any and all damages which might be occasioned by the Contractor's failure to exactly locate and preserve any and all underground utilities.

CALL BEFORE YOU DIG

NORTH DAKOTA

UTILITIES UNDERGROUND LOCATION SERVICE

1-800-795-0555

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DATE

REVISIONS

LANDSCAPE PLAN

PART OF LOT 35 BLOCK 1, MARINA BAY ADDITION

SWENSON, HAGEN & COMPANY P.C.

3902 Arway Avenue
Bismarck, North Dakota 58504
shcng@swensonhagen.com
Phone (701) 223-2600
Fax (701) 223-2606

Surveying
Hydrology
Land Planning
Civil Engineering
Landscape & Site Design
Construction Management

SWI & Co

DRAWN BY: SR

CHECK BY: JP

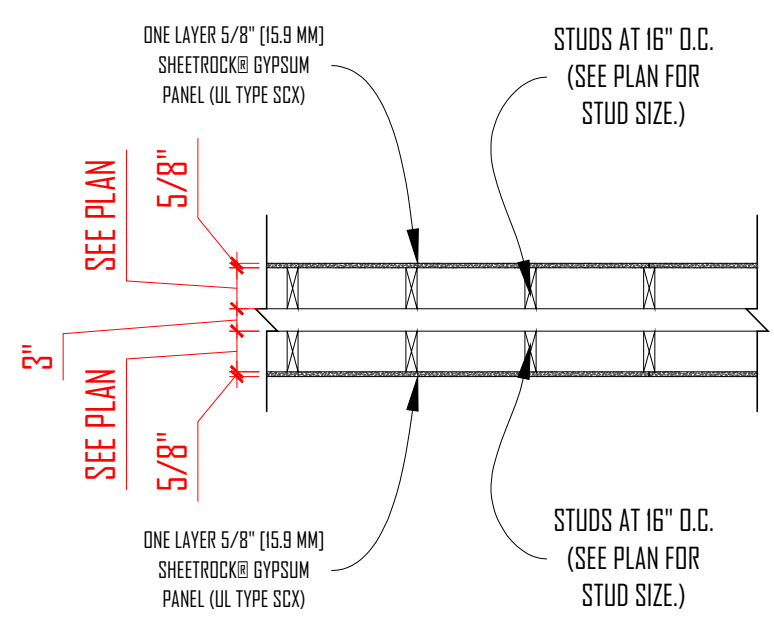
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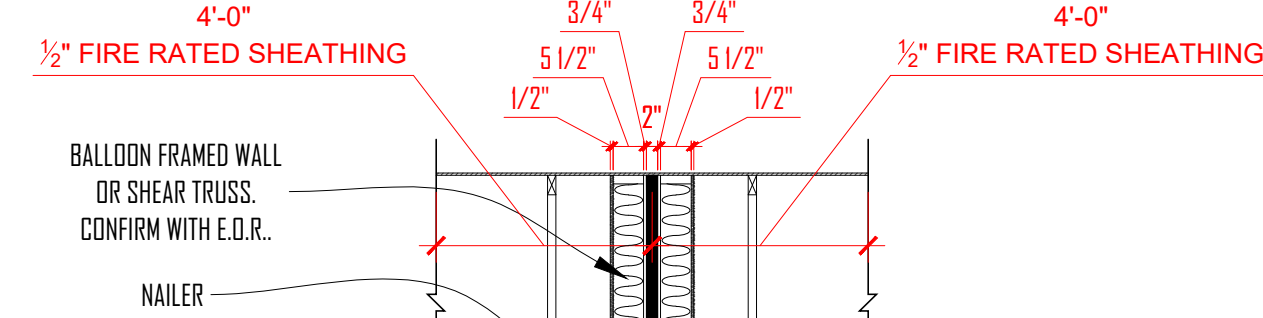
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Mandan\ Marina Bay Add\
Lot 35 Bk 1 (Shop Condos)\
Lot 35 Bk 1 Marina Bay
Add Site Survey.dwg

SHEET

C5.0



1 HOUR FIRE RATED INTERIOR BEARING WALL
SCALE: NTS



TYPICAL WALL SYSTEM
1/2" GYPSUM BOARD
8" PRE-CUT 2x6 STUD WALL
5.5" MINERAL WOOL BATT
3/4" AIR SPACE
(2) 1" LUGS LINER PANELS
2" UGH-H STUDS @ 24" O.C.
(REPEAT)

TYPICAL FLOOR SYSTEM
3/4" SUB FLOOR (SPAN RATING 48/24)
18" ENGINEERED FLOOR TRUSSES
5.5" MINERAL WOOL BATT
5/8" GYPSUM BOARD
(CONFIRM TRUSS ORIENTATION
WITH MANUFACTURER)
NAILER

TYPICAL WALL SYSTEM
1/2" GYPSUM BOARD
8" 2x6 STUD WALL
5.5" MINERAL WOOL BATT
3/4" AIR SPACE
(2) 1" LUGS LINER PANELS
2" UGH-H STUDS @ 24" O.C.
(REPEAT)

WALL SYSTEM
14" CONC. FOUNDATION (VERIFY)
VERTICAL & HORIZONTAL REBAR

TYPICAL CONC. FLOOR SYSTEM
4" CONC. FLOOR SLAB TO DRAIN
REBAR REINFORCEMENT @ 24" O.C. (MIN.)
(10) MIL VAPOR BARRIER (VERIFY)
6" SAND FILL BELOW (VERIFY)
24" X6" FOOTING
WITH (2) HORIZ. REBAR
ENGINEERED FILL OR
UNDISTURBED EARTH
(2) DOWELS 24" TALL
W/5' BEND
BACK FILL
12" MIN. MIN. MIN.

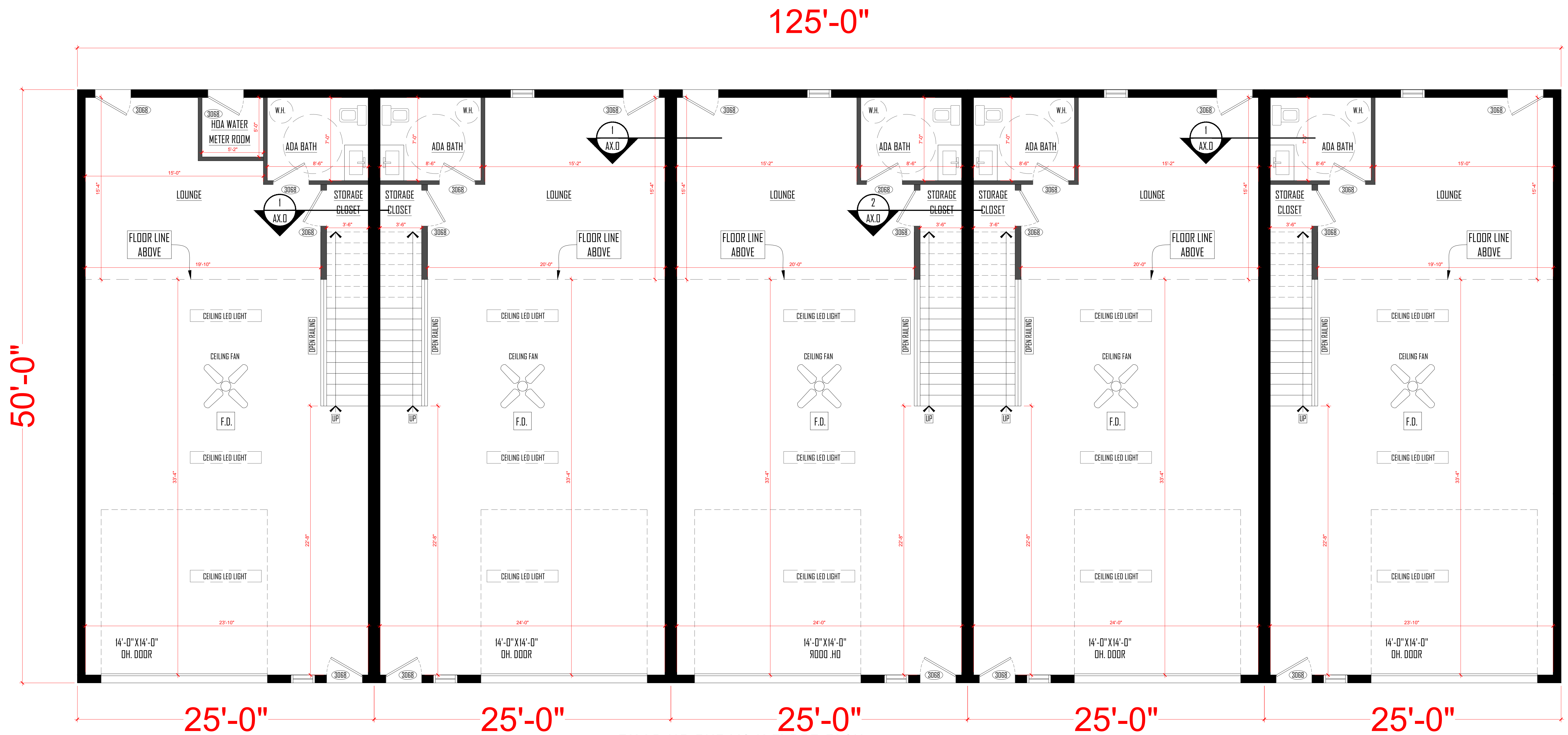
2 HOUR PARTY WALL SECTION
SCALE: NTS

BLD ①

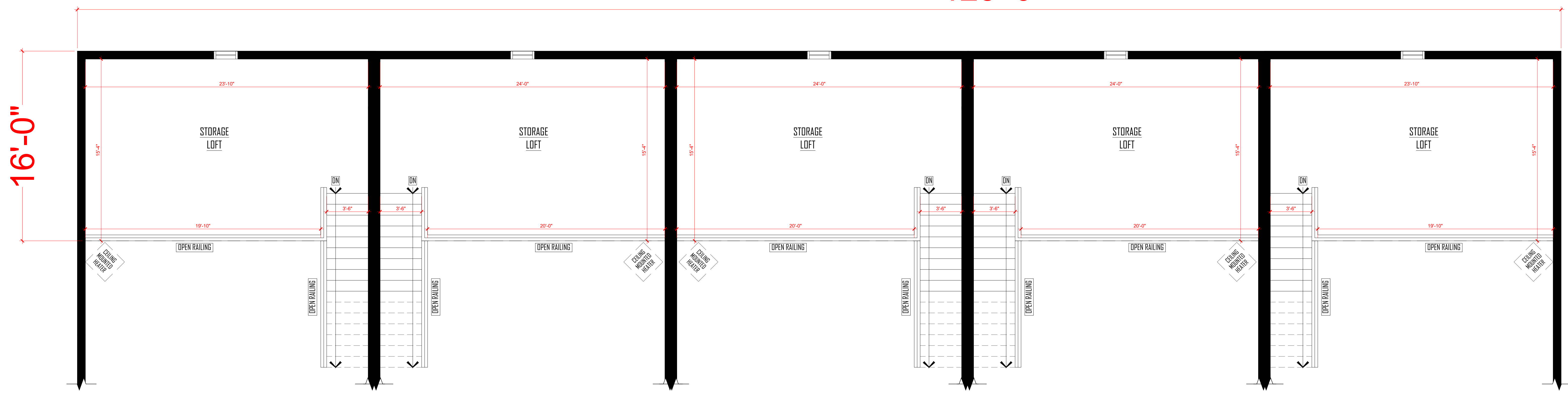
BLD ②

BLD ④

BLD ③



1 BUILDING ONE MAIN FLOOR PLAN
SCALE: 1/4" = 1'-0"



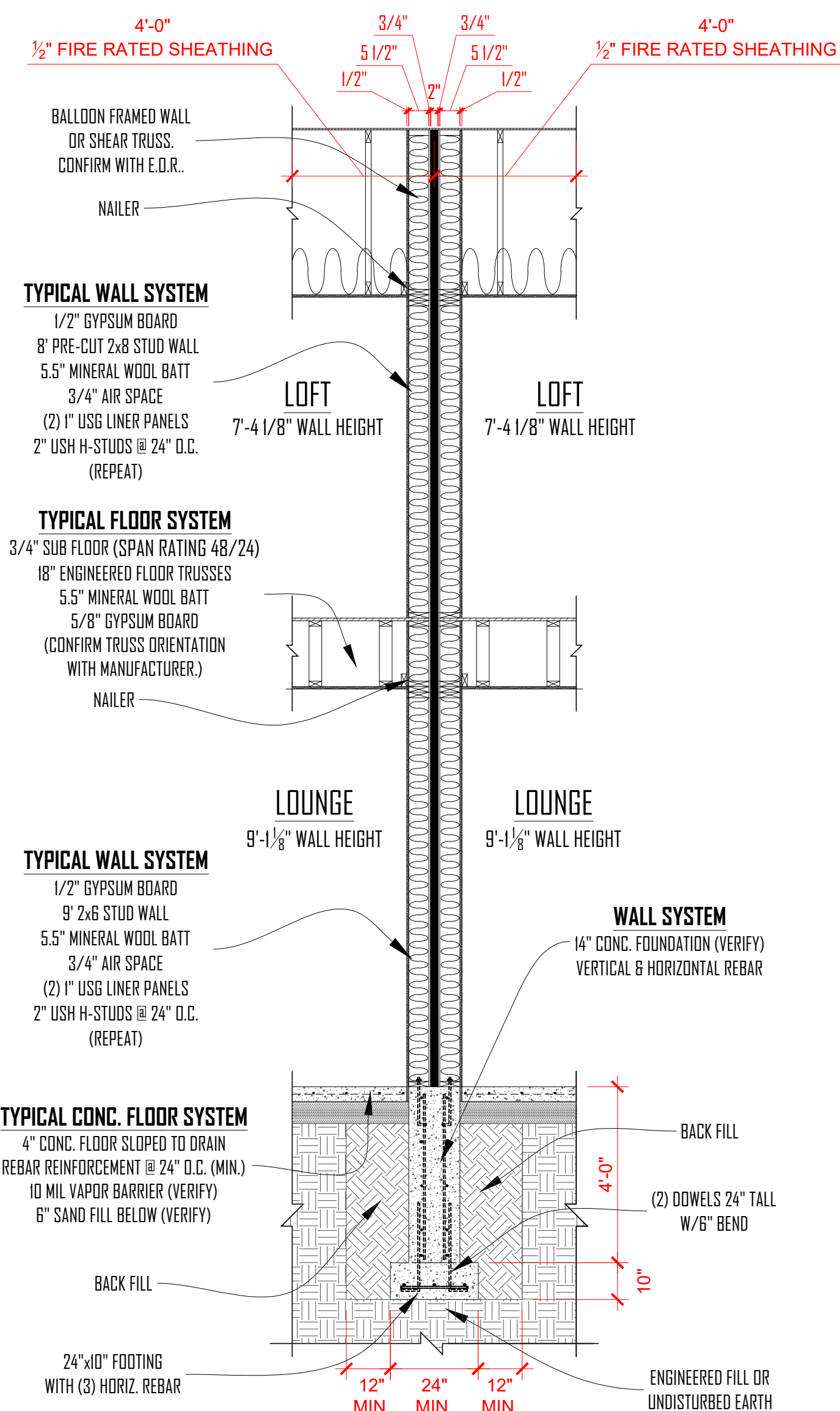
2 BUILDING ONE MEZZANINE PLAN
SCALE: 1/4" = 1'-0"



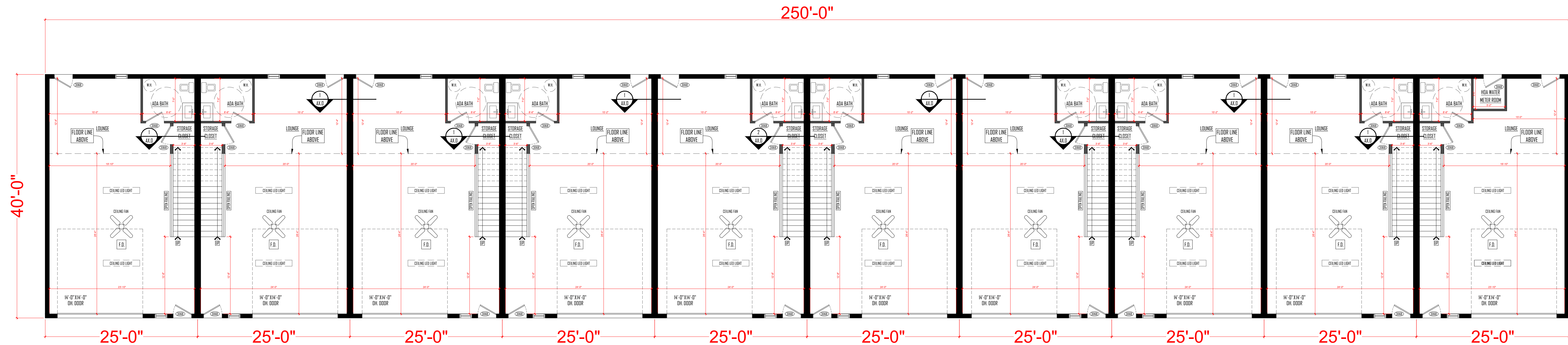
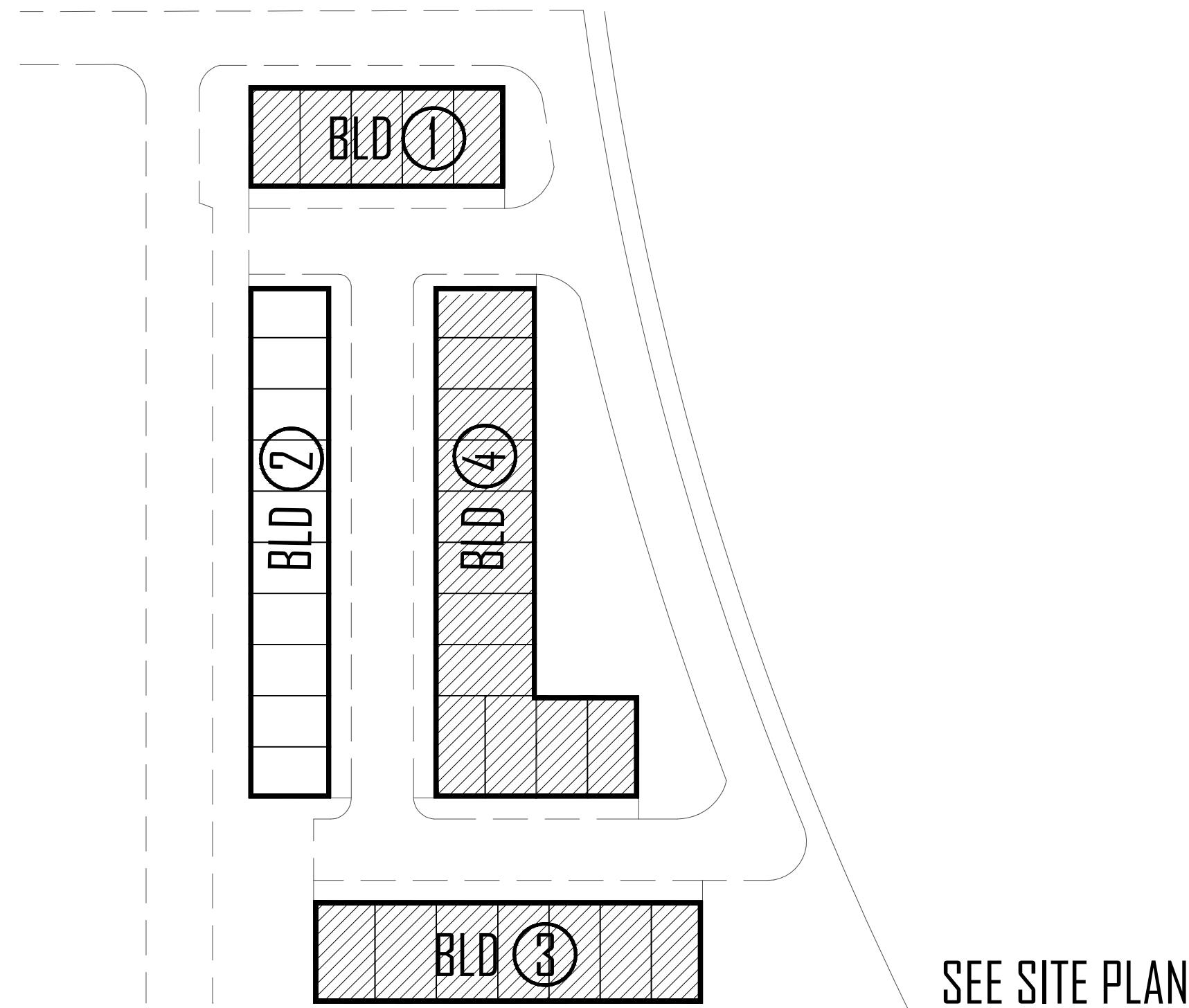
3 BUILDING ONE FRONT ELEVATION
SCALE: 1/4" = 1'-0"



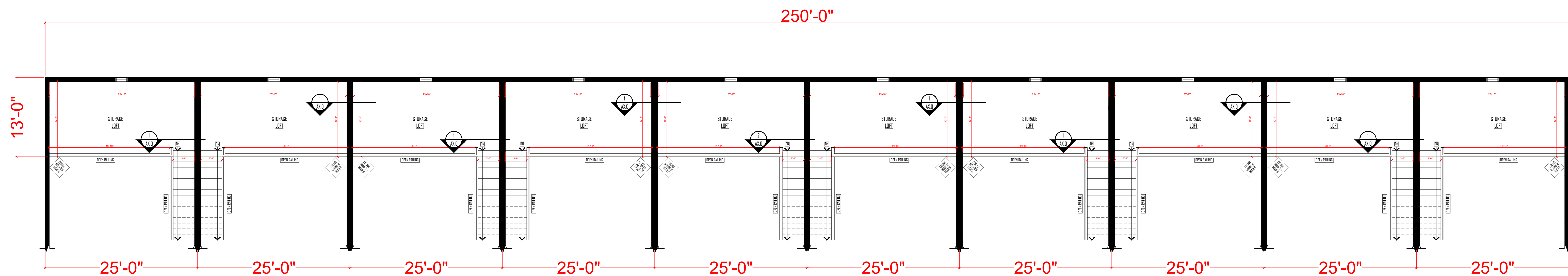
1 HOUR FIRE RATED INTERIOR BEARING WALL
SCALE: NTS



2 HOUR PARTY WALL SECTION
SCALE: NTS



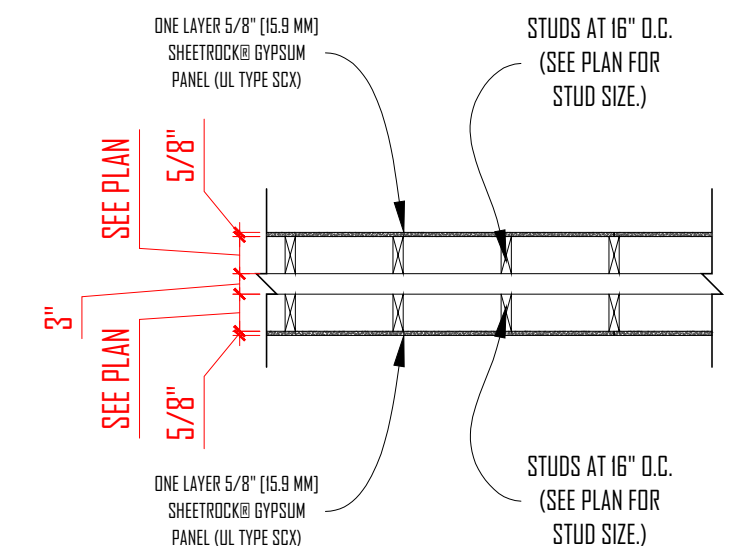
BUILDING TWO MAIN FLOOR PLAN
SCALE: 1/8" = 1'-0"



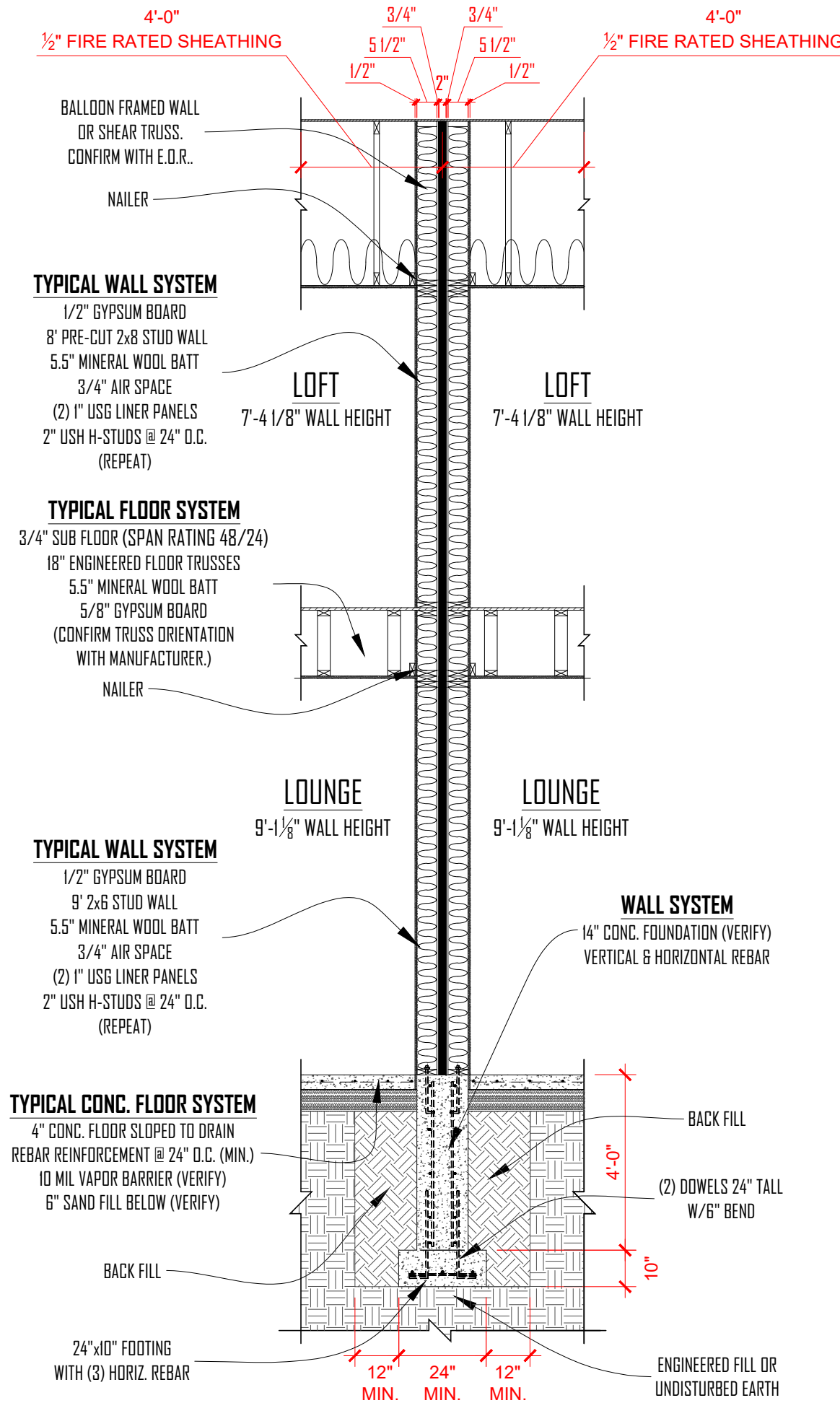
BUILDING TWO MEZZANINE PLAN
SCALE: 1/8" = 1'-0"



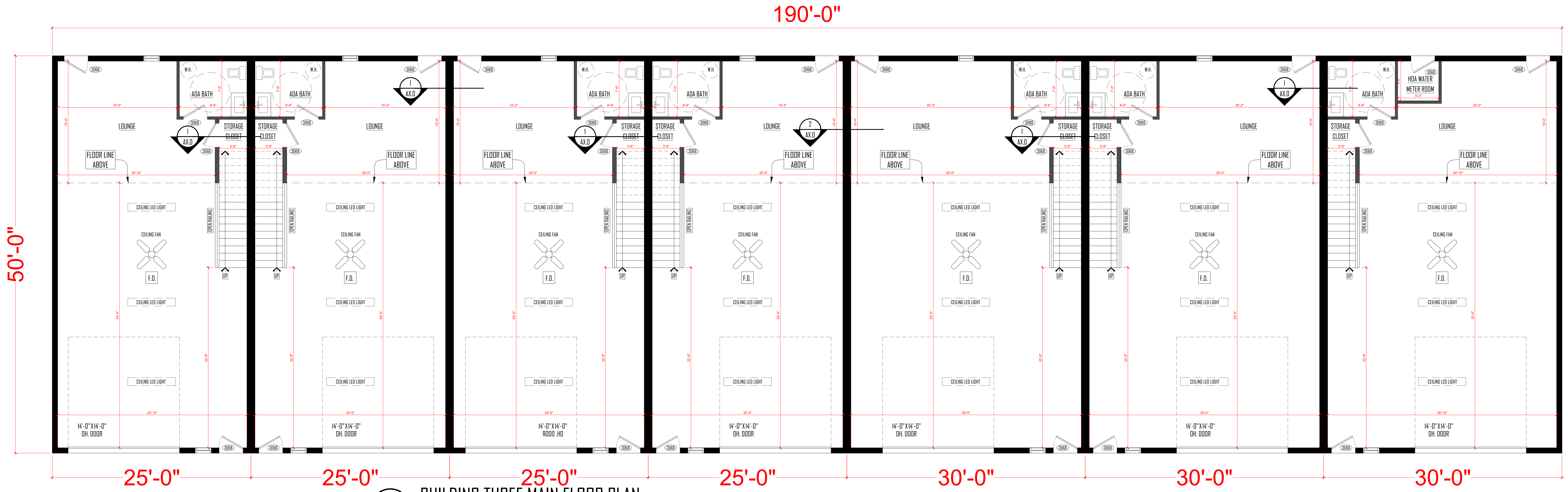
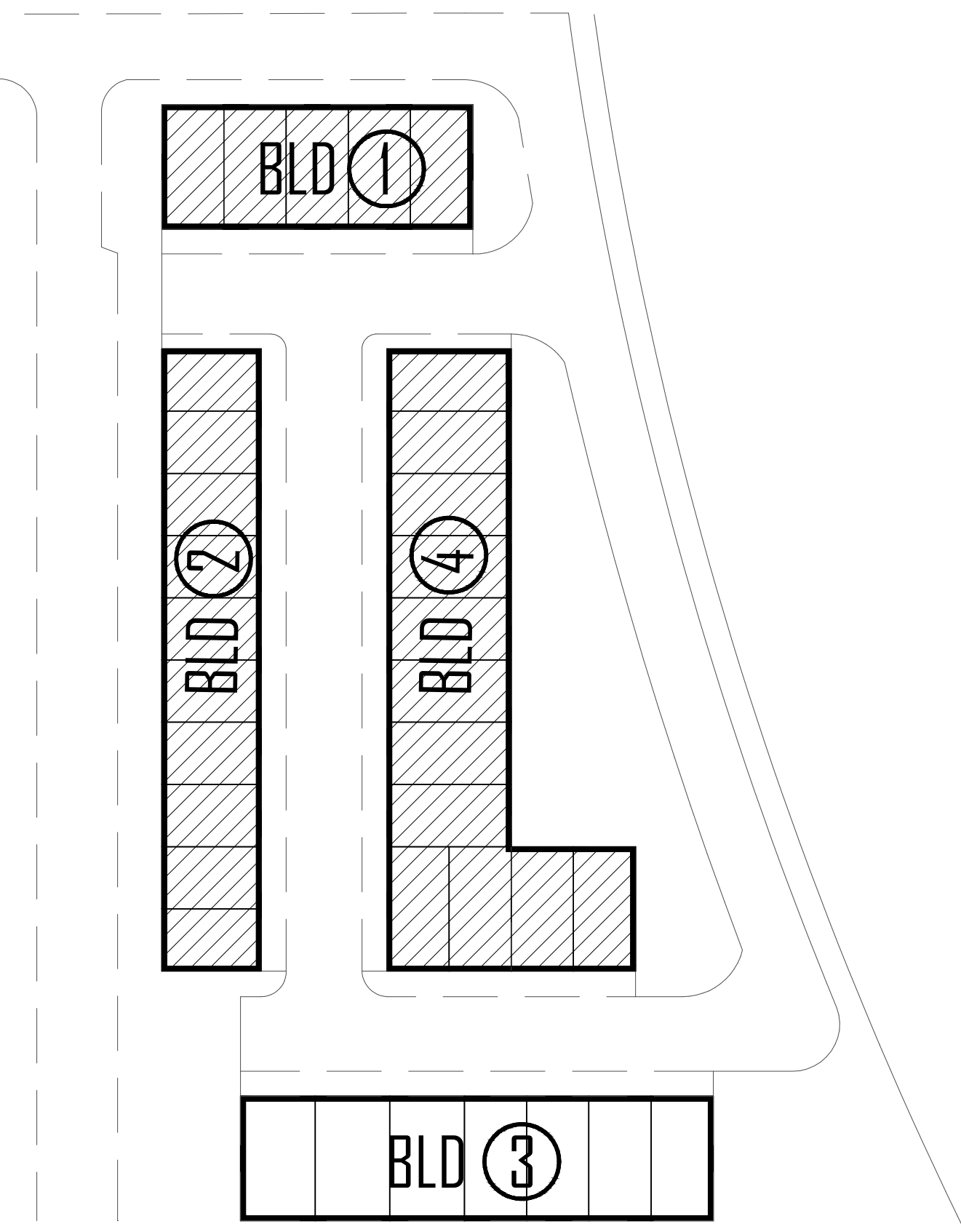
BUILDING TWO FRONT ELEVATION
SCALE: 1/8" = 1'-0"



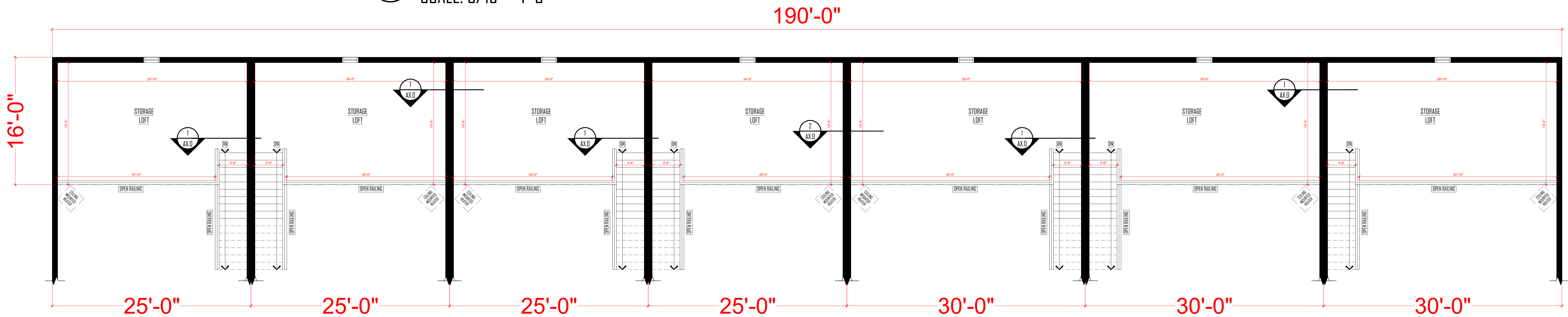
1 HOUR FIRE RATED INTERIOR BEARING WALL
SCALE: NTS



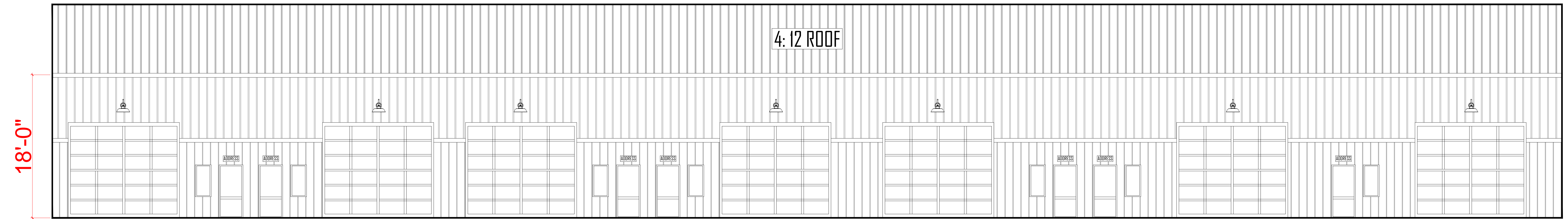
2 HOUR PARTY WALL SECTION
SCALE: NTS



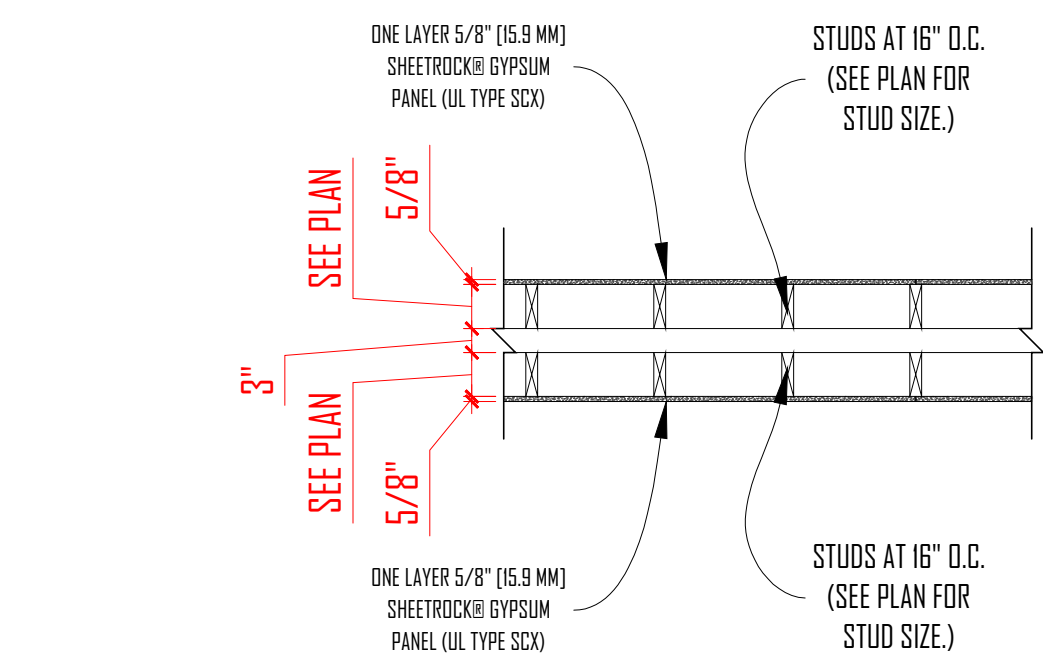
1 BUILDING THREE MAIN FLOOR PLAN
SCALE: 3/16" = 1'-0"



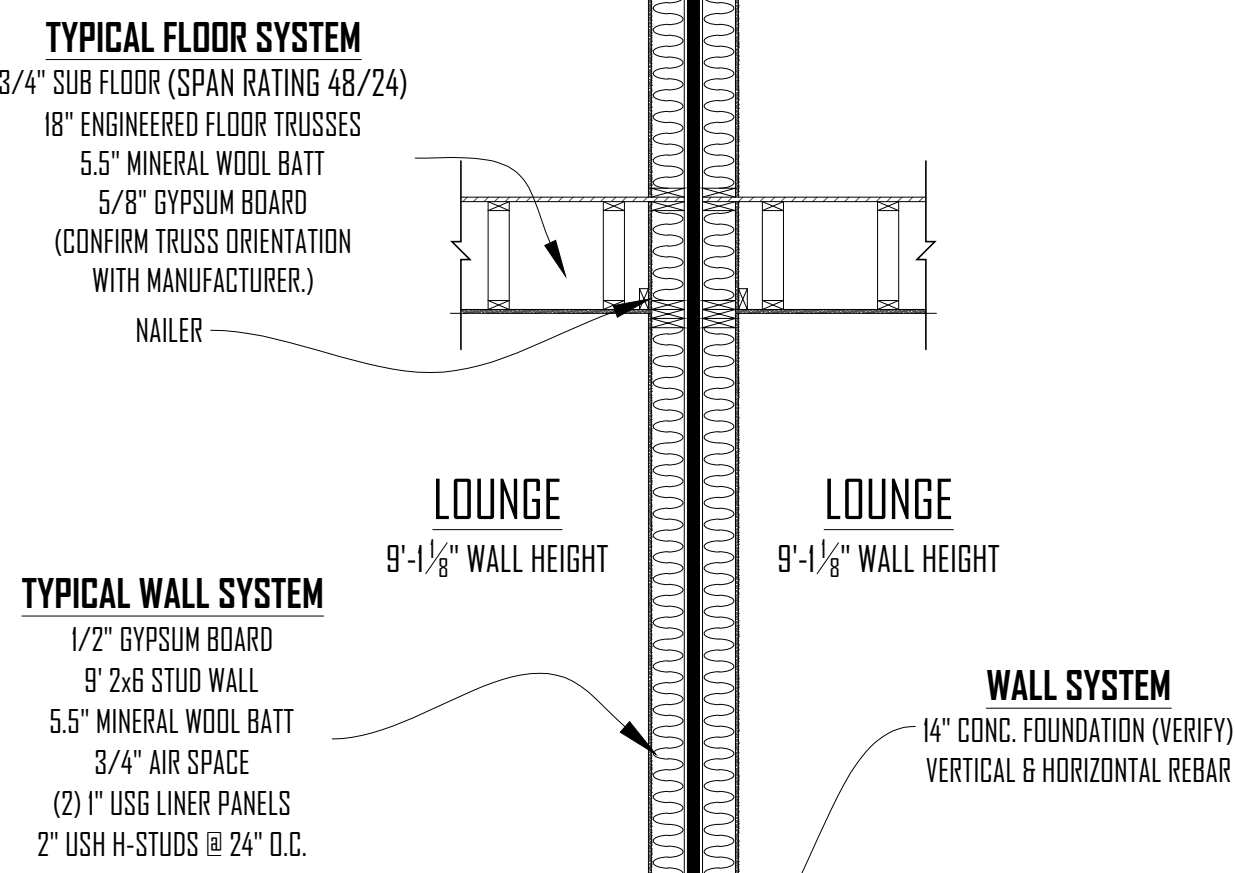
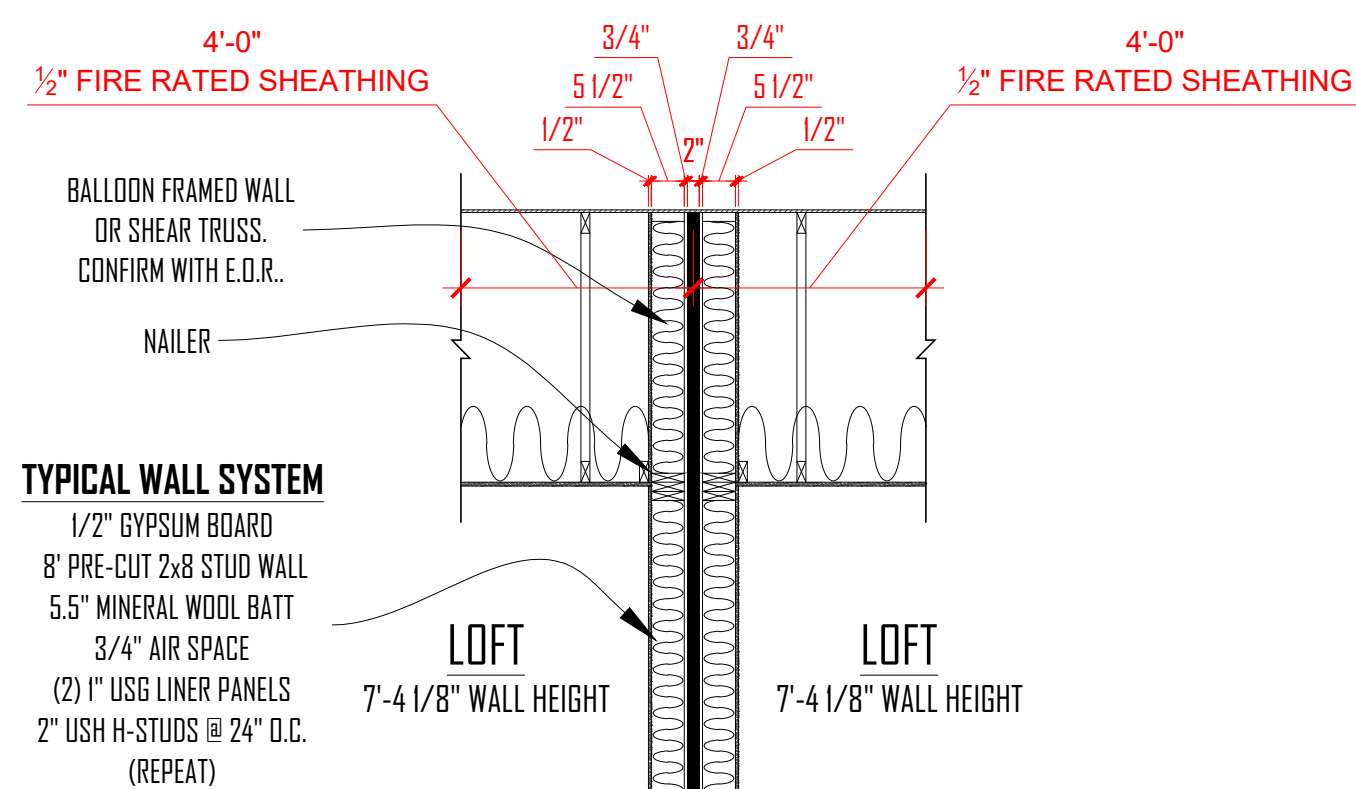
2 BUILDING THREE MEZZANINE PLAN
SCALE: 3/16" = 1'-0"



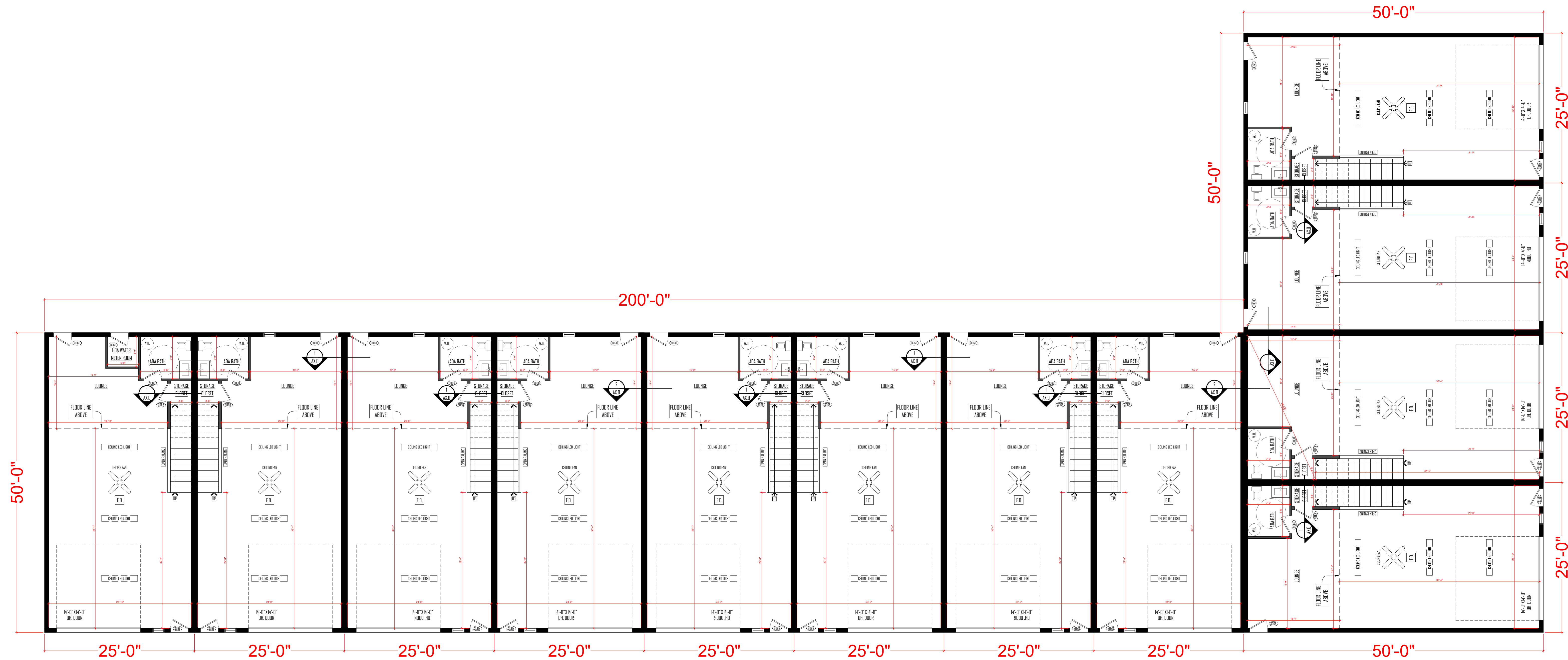
3 BUILDING THREE FRONT ELEVATION
SCALE: 3/16" = 1'-0"



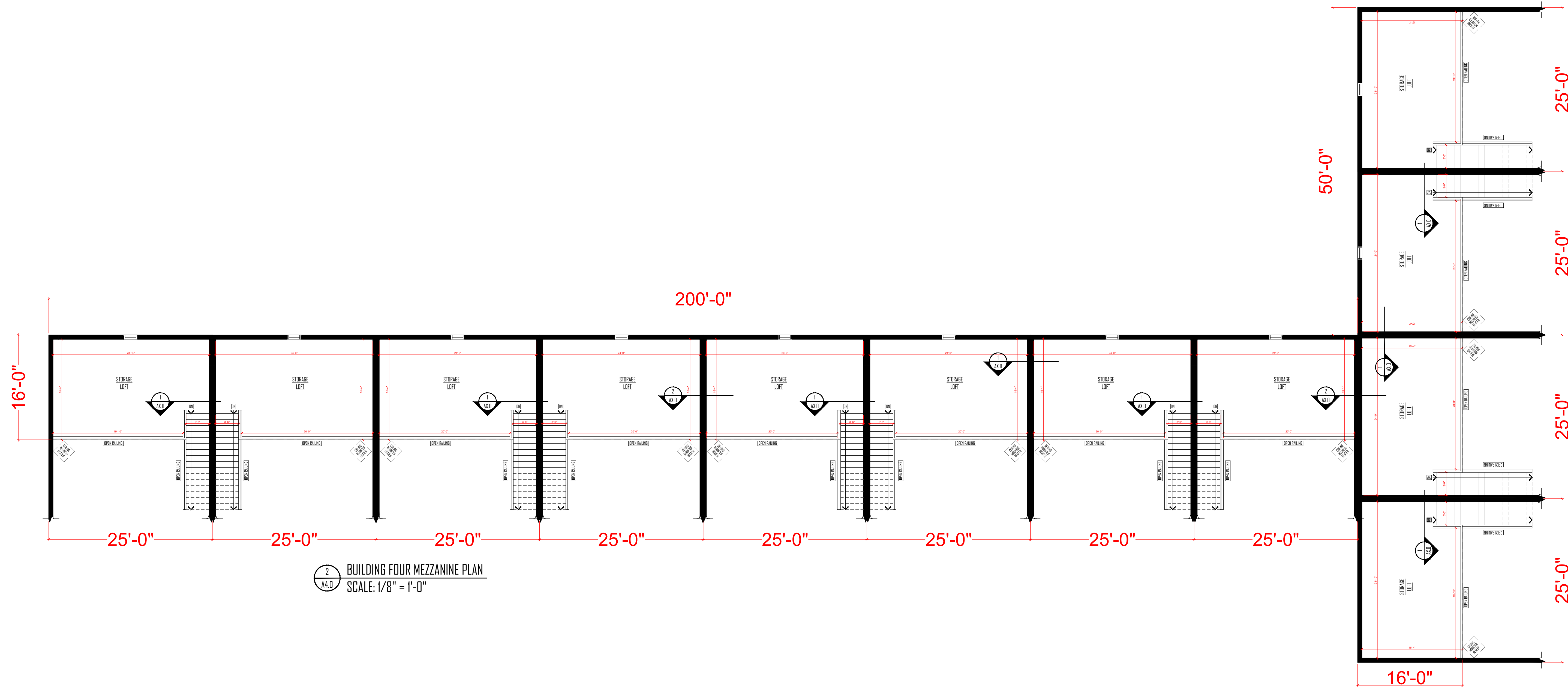
1 HOUR FIRE RATED INTERIOR BEARING WALL
SCALE: NTS



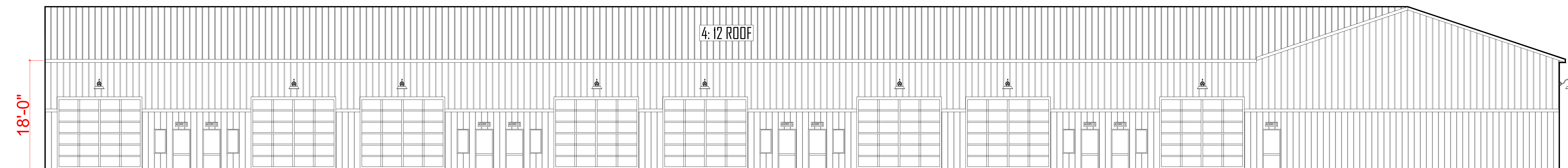
2 HOUR PARTY WALL SECTION
SCALE: NTS



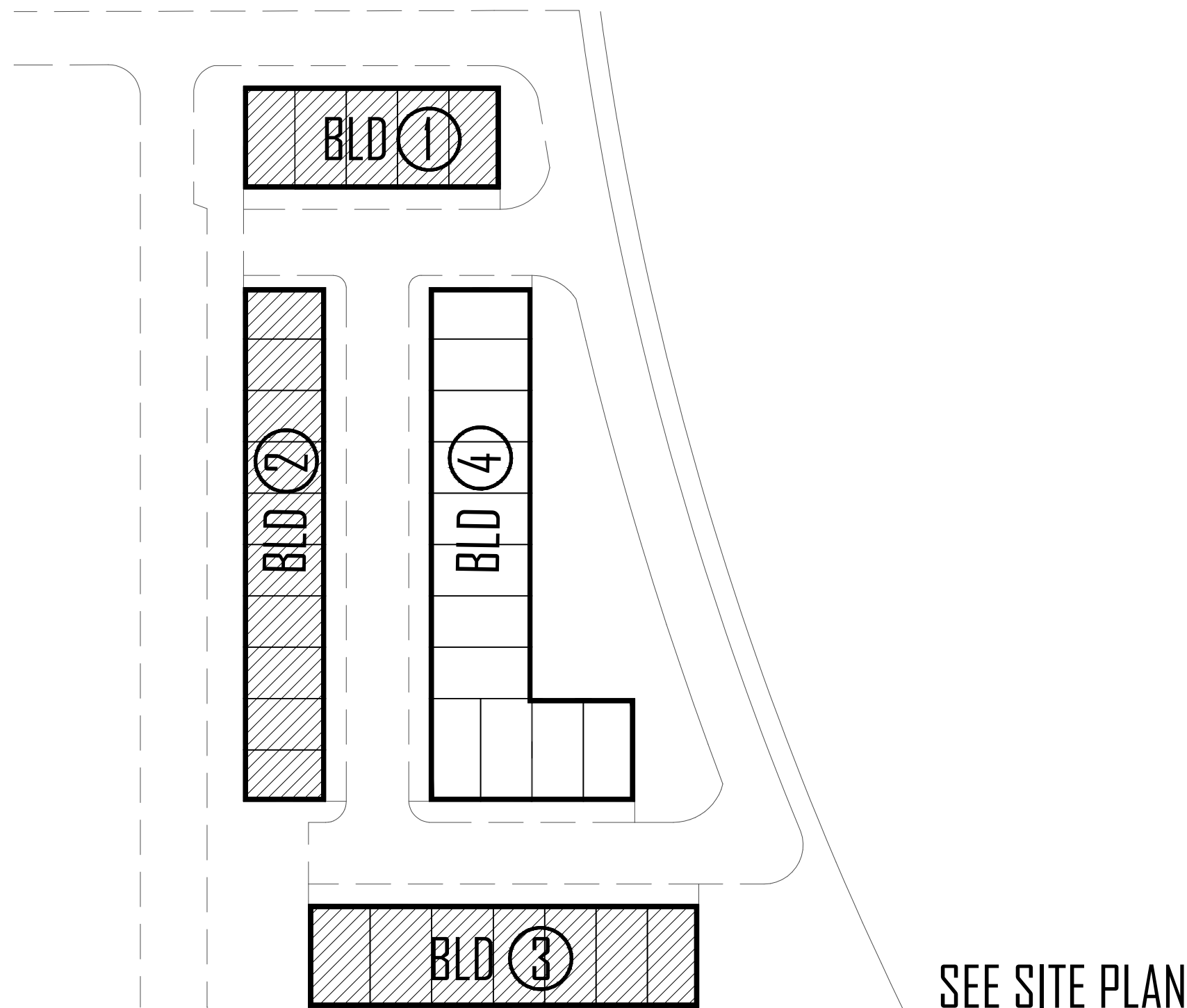
BUILDING FOUR MAIN FLOOR PLAN
SCALE: 1/8" = 1'-0"



BUILDING FOUR MEZZANINE PLAN
SCALE: 1/8" = 1'-0"



BUILDING FOUR FRONT ELEVATION
SCALE: 1/8" = 1'-0"





SHEET INDEX

- C1.0 EXISTING SITE CONDITIONS
- C2.0 REMOVALS AND EROSION CONTROL PLAN
- C3.0 DIMENSION AND UTILITIES PLAN
- C4.0 GRADING AND PAVING PLAN
- C5.0 LANDSCAPE PLAN

DESCRIPTION

4723 29TH STREET SE

LOT 35 BLOCK 1 LESS AUDITOR LOTS A, B, C & D,
MARINA BAY ADDITION, MANDAN, ND

OWNER/APPLICANT

OWNER:
MARINA BAY, LLP
CONTACT: ERIC MORITZ
PO BOX 4202
BISMARCK, ND 58502

CONTRACTOR:
ARTISAN HOMES
CONTACT: JAY WICKLINE
2927 RAILROAD AVENUE
BISMARCK, ND 58501
PHONE: (701) 595-2651
EMAIL: jay@artisanhomes.com

SURVEY NOTES

THE SURVEY WAS PERFORMED AT THE REQUEST OF THE
PROPERTY OWNER.

NORTH DAKOTA ONE CALL WAS REQUESTED TO MARK UTILITIES ON
PER ONE CALL TICKET. THE MARKED
UTILITIES WERE SURVEYED ON. RECORDS OF PUBLIC
SEWER AND WATER LINES WERE OBTAINED FROM CITY RECORDS
AND MAY NOT BE AS-BUILT INFORMATION. THE LOCATION OF
UTILITIES ARE BASED ON VISUAL EVIDENCE WITHOUT EXCAVATION
UNLESS NOTED AS SUBSURFACE INVESTIGATION.

A TITLE OPINION OR COMMITMENT FOR TITLE INSURANCE WAS NOT
REQUESTED OR PROVIDED BY THE PARTY REQUESTING THE
SURVEY. THIS DOCUMENT MAY NOT INCLUDE COMPLETE
INFORMATION REGARDING EASEMENTS, RESERVATIONS,
RESTRICTIONS, COVENANTS, OR ENCUMBRANCES.

REFERENCE DOCUMENTS REVIEWED AND CONSIDERED AS A PART
OF THIS EXHIBIT ARE NOTED HERE WITH THE RECORDATION
NUMBER. THIS EXHIBIT DOES NOT CONSTITUTE A TITLE SEARCH BY
THE SURVEYOR.

LIST REFERENCE DOCUMENT HERE
DOCUMENT #291294 - MARINA BAY ADDITION
DOCUMENT #307169 - REPLAT OF THE SHORES OF MARINA BAY
SUBDIVISION
DOCUMENT #297795 - ACCESS EASEMENT

SURVEY DATUM

HORIZONTAL DATUM:
ND STATE PLANE, NAD 83, SOUTH ZONE, INTERNATIONAL FEET

VERTICAL DATUM:
NAVD 88

BENCHMARKS

TO BE SET AT TIME OF CONSTRUCTION

ZONING

ZONING - CC
LOT AREA - MIN 7,000 SF
LOT WIDTH - MIN 50 FEET
FRONT YARD - MIN 35 FEET
SIDE YARD - MIN 0 FEET
REAR YARD - MIN 10 FEET
HEIGHT LIMIT - MAX 85 FEET

FLOODPLAIN INFORMATION

THE PROPERTY IS LOCATED WITHIN A FLOOD INSURANCE STUDY
AREA ZONE AE (SPECIAL FLOOD HAZARD AREA) ACCORDING TO
FIRM MAP NUMBER 38059C05150, EFFECTIVE 04/19/2005
COMPLETED BY FEDERAL EMERGENCY MANAGEMENT AGENCY. THIS
FIRM HAS BEEN REVISED BY LOMR 05-08-0547P, EFFECTIVE
10/10/2006 AND STILL REMAINS IN A ZONE AE. ZONE AE 100
YEAR FLOOD PLAIN ELEVATION ADJACENT TO THE PROPERTIES
MOST UPSTREAM EDGE IS INDICATED ON LOMR 05-08-0547P AS
(1637.30 NAVD 88).

WARRANTY / DISCLAIMER

The designs represented in these plans are in accordance
with established practices of civil engineering. However,
neither Swenson, Hagen & Co. nor its personnel can or do
warrant these plans as constructed except in the specific
cases where Swenson, Hagen & Co. personnel inspect and
control the physical construction on a full time basis.

SAFETY NOTICE TO CONTRACTOR

In accordance with generally accepted construction practices
the contractor will be solely and completely responsible for
conditions of the job site, including safety of all persons
and property during performance of the work. This require-
ment will apply continuously and not be limited to normal
business hours.

NOTICE TO CONTRACTOR

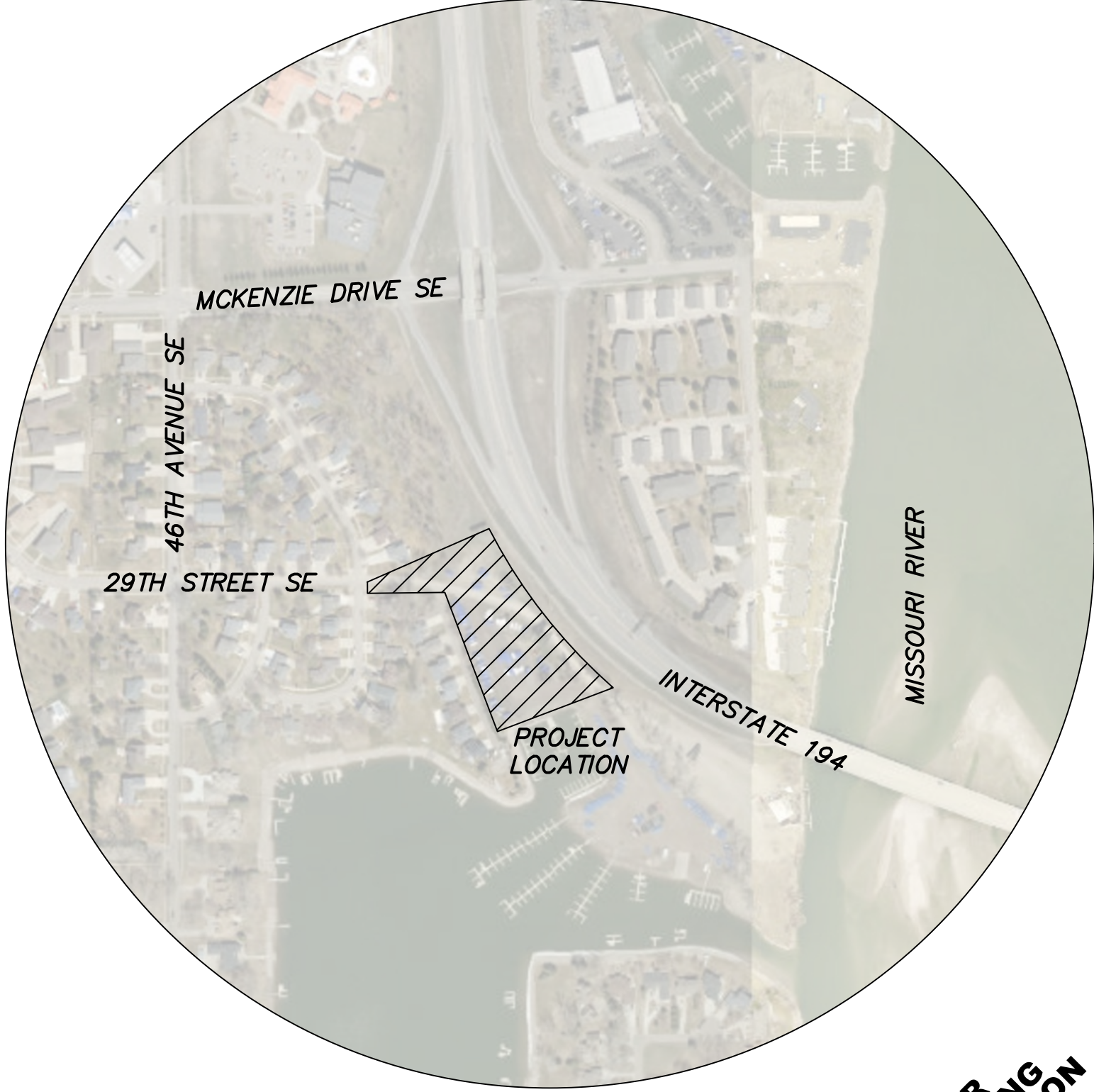
The location of existing underground utilities are shown in an approximate
way only and have not been independently verified by the owner or its
representatives. The Contractor shall determine the exact location of all
existing utilities before commencing work, and agree to be fully responsible
for any and all damages which might be occasioned by the Contractor's
failure to exactly locate and preserve any and all underground utilities.

CALL BEFORE YOU DIG

NORTH DAKOTA
UTILITIES UNDERGROUND LOCATION SERVICE
1-800-795-0555

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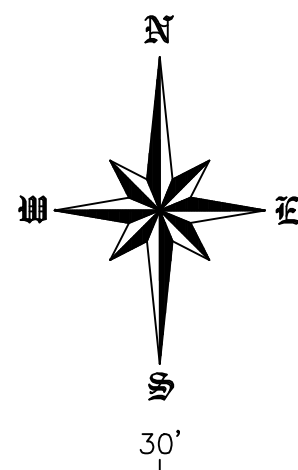
LOCATION MAP



**PRELIMINARY NOT FOR
CONSTRUCTION RECORDING
PURPOSES OR IMPLEMENTATION**

LEGEND

- S S EXISTING SANITARY SEWER
- FM FM EXISTING FORCE MAIN SANITARY SEWER
- W W EXISTING WATERMAIN
- ST ST EXISTING STORM SEWER
- E E EXISTING UNDERGROUND ELECTRIC
- FO FO EXISTING UNDERGROUND FIBER OPTIC
- △ EXISTING UTILITY RISER-VAULT
- ☆ EXISTING LIGHT POLE
- ▽ EXISTING SIGN
- ⊗ EXISTING VALVE
- ⊙ EXISTING FIRE HYDRANT
- EXISTING FENCE
- EXISTING ASPHALT
- EXISTING CONCRETE
- EXISTING GRAVEL
- EXISTING CONTOUR
- EXISTING GRADE



SCALE - 1" = 30'

NAVD 88 DATUM

JUNE 22, 2026

DATE	REVISIONS

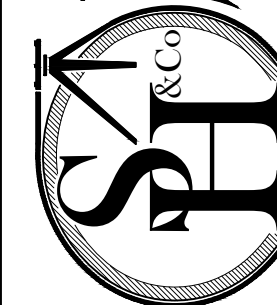
**EXISTING SITE
CONDITIONS**

PART OF LOT 35 BLOCK 1, MARINA BAY ADDITION

SWENSON, HAGEN & COMPANY P.C.

3002 Arway Avenue
Bismarck, North Dakota 58504
slh@swensonhagen.com
Phone (701) 223-2600
Fax (701) 223-2606

Surveying
Hydrology
Land Planning
Civil Engineering
Landscape & Site Design
Construction Management



DRAWN BY: SR

CHECK BY: JP

DATE: 06/22/2026

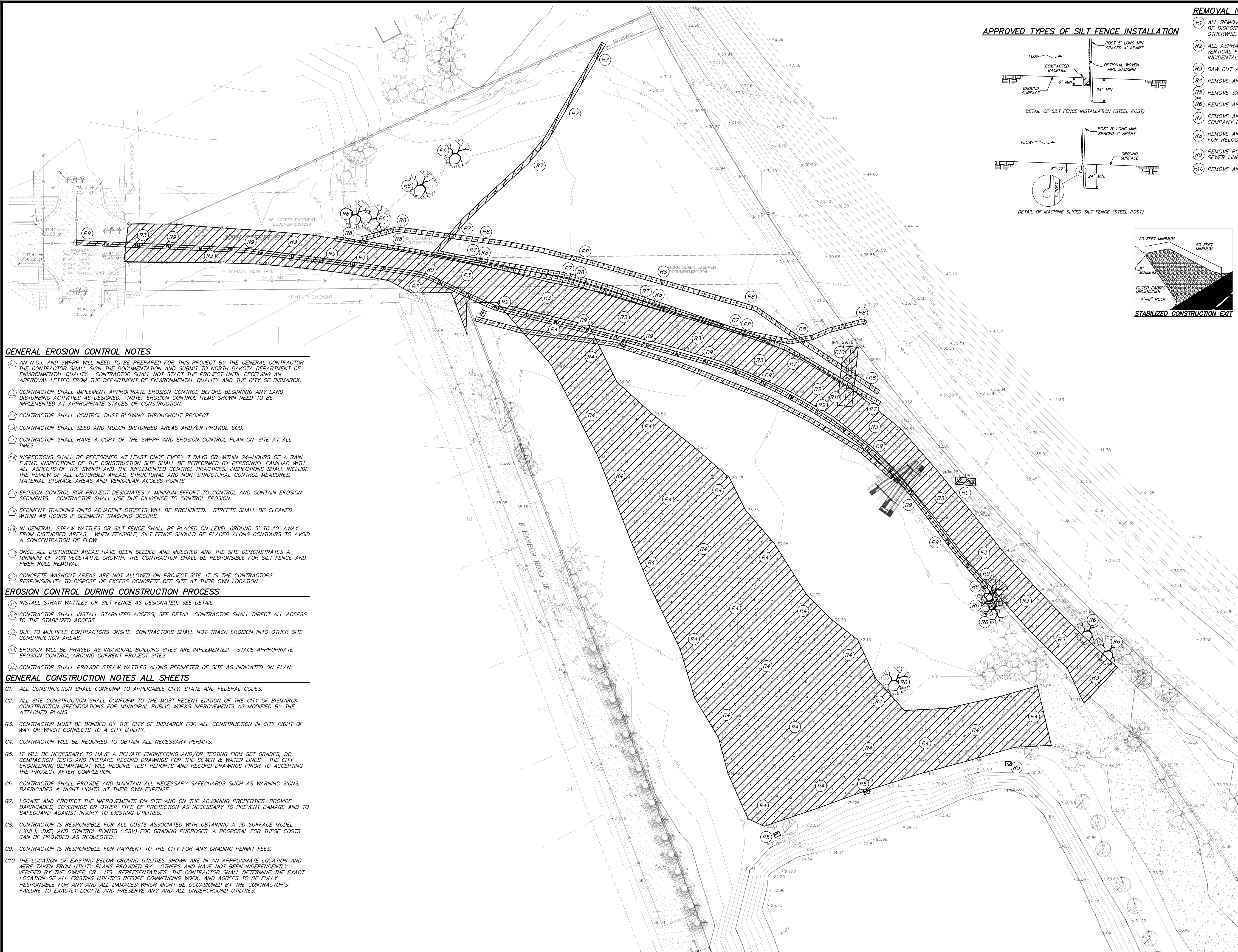
PROJ.#:

COMPUTER FILE:

P:\Morton County, ND\
Mandan\Marina Bay Add\
Lot 35 Bk 1(Shop Condos)
Add Site Survey.dwg

SHEET

C1.0



GENERAL EROSION CONTROL NOTES

1. AN N.O.I. AND SWPPP WILL NEED TO BE PREPARED FOR THIS PROJECT BY THE GENERAL CONTRACTOR. THE CONTRACTOR SHALL SIGN THE DOCUMENTATION AND SUBMIT TO NORTH DAKOTA DEPARTMENT OF ENVIRONMENTAL QUALITY. CONTRACTOR SHALL NOT START THE PROJECT UNTIL RECEIVING AN APPROVAL LETTER FROM THE DEPARTMENT OF ENVIRONMENTAL QUALITY AND THE CITY OF BISMARCK.
2. CONTRACTOR SHALL IMPLEMENT APPROPRIATE EROSION CONTROL BEFORE BEGINNING ANY LAND DISTURBING ACTIVITIES AS DESIGNED. NOTE: EROSION CONTROL ITEMS SHOWN NEED TO BE IMPLEMENTED AT APPROPRIATE STAGES OF CONSTRUCTION.
3. CONTRACTOR SHALL CONTROL DUST BLOWING THROUGHOUT PROJECT.
4. CONTRACTOR SHALL SEED AND MULCH DISTURBED AREAS AND/OR PROVIDE SOD.
5. CONTRACTOR SHALL HAVE A COPY OF THE SWPPP AND EROSION CONTROL PLAN ON-SITE AT ALL TIMES.
6. INSPECTIONS SHALL BE PERFORMED AT LEAST ONCE EVERY 7 DAYS OR WITHIN 24-HOURS OF A RAIN EVENT. INSPECTIONS OF THE CONSTRUCTION SITE SHALL BE PERFORMED BY PERSONNEL FAMILIAR WITH ALL ASPECTS OF THE SWPPP AND THE IMPLEMENTED CONTROL PRACTICES. INSPECTIONS SHALL INCLUDE THE REVIEW OF ALL DISTURBED AREAS, STRUCTURAL AND NON-STRUCTURAL CONTROL MEASURES, MATERIAL STORAGE AREAS AND VEHICULAR ACCESS POINTS.
7. EROSION CONTROL FOR PROJECT DESIGNATES A MINIMUM EFFORT TO CONTROL AND CONTAIN EROSION SEDIMENTS. CONTRACTOR SHALL USE DUE DILIGENCE TO CONTROL EROSION.
8. SEDIMENT TRACKING ONTO ADJACENT STREETS WILL BE PROHIBITED. STREETS SHALL BE CLEANED WITHIN 48 HOURS IF SEDIMENT TRACKING OCCURS.
9. IN GENERAL, STRAW WATTLES OR SILT FENCE SHALL BE PLACED ON LEVEL GROUND 5' TO 10' AWAY FROM DISTURBED AREAS. WHEN FEASIBLE, SILT FENCE SHOULD BE PLACED ALONG CONTOURS TO AVOID A CONCENTRATION OF FLOW.
10. ONCE ALL DISTURBED AREAS HAVE BEEN SEEDED AND MULCHED AND THE SITE DEMONSTRATES A MINIMUM OF 70% VEGETATIVE GROWTH, THE CONTRACTOR SHALL BE RESPONSIBLE FOR SILT FENCE AND FIBER ROLL REMOVAL.
11. CONCRETE WASHOUT AREAS ARE NOT ALLOWED ON PROJECT SITE. IT IS THE CONTRACTORS RESPONSIBILITY TO DISPOSE OF EXCESS CONCRETE OFF SITE AT THEIR OWN LOCATION.

EROSION CONTROL DURING CONSTRUCTION PROCESS

1. INSTALL STRAW WATTLES OR SILT FENCE AS DESIGNATED, SEE DETAIL.
2. CONTRACTOR SHALL INSTALL STABILIZED ACCESS, SEE DETAIL. CONTRACTOR SHALL DIRECT ALL ACCESS TO THE STABILIZED ACCESS.
3. DUE TO MULTIPLE CONTRACTORS ONSITE, CONTRACTORS SHALL NOT TRACK EROSION INTO OTHER SITE CONSTRUCTION AREAS.
4. EROSION WILL BE PHASED AS INDIVIDUAL BUILDING SITES ARE IMPLEMENTED. STAGE APPROPRIATE EROSION CONTROL AROUND CURRENT PROJECT SITES.
5. CONTRACTOR SHALL PROVIDE STRAW WATTLES ALONG PERIMETER OF SITE AS INDICATED ON PLAN.

GENERAL CONSTRUCTION NOTES ALL SHEETS

- G1. ALL CONSTRUCTION SHALL CONFORM TO APPLICABLE CITY, STATE AND FEDERAL CODES.
- G2. ALL SITE CONSTRUCTION SHALL CONFORM TO THE MOST RECENT EDITION OF THE CITY OF BISMARCK CONSTRUCTION SPECIFICATIONS FOR MUNICIPAL PUBLIC WORKS IMPROVEMENTS AS MODIFIED BY THE ATTACHED PLANS.
- G3. CONTRACTOR MUST BE BONDED BY THE CITY OF BISMARCK FOR ALL CONSTRUCTION IN CITY RIGHT OF WAY OR WHICH CONNECTS TO A CITY UTILITY.
- G4. CONTRACTOR WILL BE REQUIRED TO OBTAIN ALL NECESSARY PERMITS.
- G5. IT WILL BE NECESSARY TO HAVE A PRIVATE ENGINEERING AND/OR TESTING FIRM SET GRADES, DO COMPACTION TESTS AND PREPARE RECORD DRAWINGS FOR THE SEWER & WATER LINES. THE CITY ENGINEERING DEPARTMENT WILL REQUIRE TEST REPORTS AND RECORD DRAWINGS PRIOR TO ACCEPTING THE PROJECT AFTER COMPLETION.
- G6. CONTRACTOR SHALL PROVIDE AND MAINTAIN ALL NECESSARY SAFEGUARDS SUCH AS WARNING SIGNS, BARRICADES & NIGHT LIGHTS AT THEIR OWN EXPENSE.
- G7. LOCATE AND PROTECT THE IMPROVEMENTS ON SITE AND ON THE ADJOINING PROPERTIES. PROVIDE BARRICADES, COVERINGS OR OTHER TYPE OF PROTECTION AS NECESSARY TO PREVENT DAMAGE AND TO SAFEGUARD AGAINST INJURY TO EXISTING UTILITIES.
- G8. CONTRACTOR IS RESPONSIBLE FOR ALL COSTS ASSOCIATED WITH OBTAINING A 3D SURFACE MODEL (.XML), .DXF, AND CONTROL POINTS (.CSV) FOR GRADING PURPOSES. A PROPOSAL FOR THESE COSTS CAN BE PROVIDED AS REQUESTED.
- G9. CONTRACTOR IS RESPONSIBLE FOR PAYMENT TO THE CITY FOR ANY GRADING PERMIT FEES.
- G10. THE LOCATION OF EXISTING BELOW GROUND UTILITIES SHOWN ARE IN AN APPROXIMATE LOCATION AND WERE TAKEN FROM UTILITY PLANS PROVIDED BY OTHERS AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVES. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

WARRANTY / DISCLAIMER

The designs represented in these plans are in accordance with established practices of civil engineering. However, neither Swenson, Hagen & Co. nor its personnel can or do warrant these plans as constructed except in the specific cases where Swenson, Hagen & Co. personnel inspect and control the physical construction on a full time basis.

SAFETY NOTICE TO CONTRACTOR

In accordance with generally accepted construction practices the contractor will be solely and completely responsible for the conditions of the job site, including safety of all persons working on the project during performance of the work. This responsibility will apply continuously and not be limited to normal business hours.

NOTICE TO CONTRACTOR

The location of existing underground utilities are shown in an approximate way only and have not been independently verified by the owner or its representatives. The Contractor shall determine the exact location of all existing utilities before commencing work, and agree to be fully responsible for any and all damages which might be occasioned by the Contractor's failure to exactly locate and preserve any and all underground utilities.

CALL BEFORE YOU DIG

NORTH DAKOTA

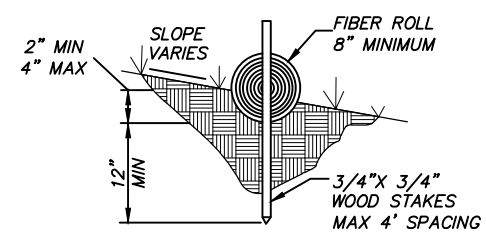
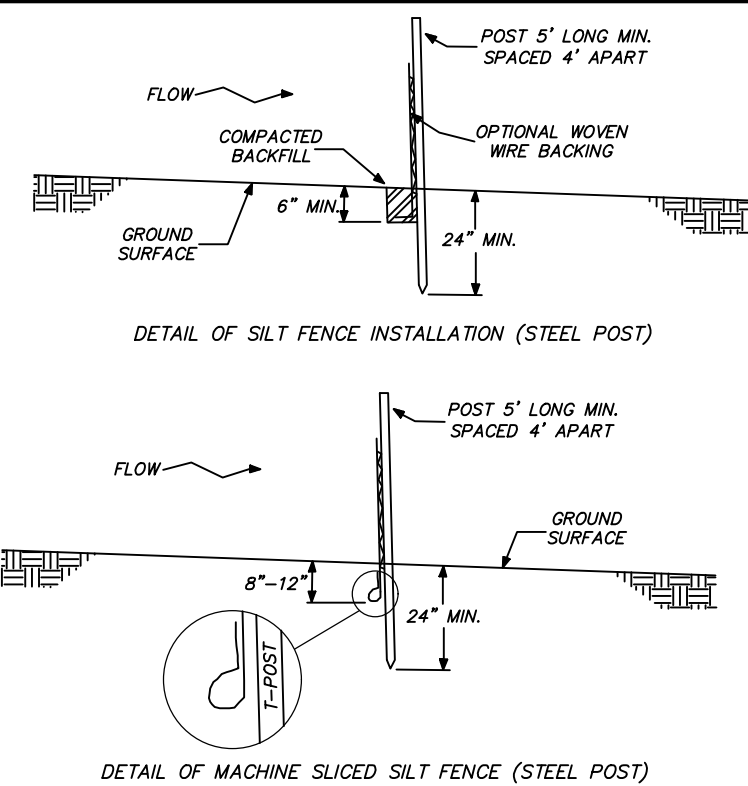
UTILITIES UNDERGROUND LOCATION SERVICE

1-800-795-0555

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APPROVED TYPES OF SILT FENCE INSTALLATION



DETAIL OF STRAW WATTLE INSTALLATION

STAKE WATTLES INTO A 2 TO 4 INCH DEEP TRENCH WITH A WIDTH EQUAL TO THE DIAMETER OF THE WATTLE.

DRIVE STAKES AT THE END OF EACH WATTLE AND SPACED 4 FEET MAXIMUM ON CENTER.

USE WOOD STAKES WITH A NOMINAL CLASSIFICATION OF 0.75 BY 0.75 INCH AND MINIMUM LENGTH OF 24 INCHES.

IF MORE THAN ONE STRAW WATTLE IS PLACED IN A ROW, THE WATTLES SHOULD OVERLAP, NOT ABUTTED.

LEGEND

S	— S —	EXISTING SANITARY SEWER
FM	— FM —	EXISTING FORCE MAIN SANITARY SEWER
W	— W —	EXISTING WATERMAIN
ST	— ST —	EXISTING STORM SEWER
E	— E —	EXISTING UNDERGROUND ELECTRIC
FO	— FO —	EXISTING UNDERGROUND FIBER OPTIC
△		EXISTING UTILITY RISER—VAULT
☆		EXISTING LIGHT POLE
+		EXISTING SIGN
⊙		EXISTING VALVE
◇		EXISTING FIRE HYDRANT
□	— □ —	EXISTING FENCE
▨		EXISTING ASPHALT
▩		EXISTING CONCRETE
░		EXISTING GRAVEL
~		EXISTING CONTOUR
xx-xx x		EXISTING GRADE
▨		PROPOSED REMOVALS
~		PROPOSED EROSION CONTROL

SCALE — 1" = 30'

NAVD 88 DATUM

JUNE 22, 2026

PRELIMINARY-NOT FOR CONSTRUCTION RECORDING PURPOSES OR IMPLEMENTATION

- REMOVAL NOTES**
- R1 ALL REMOVALS SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE DISPOSED OF PROPERLY OFF THE OWNERS PROPERTY UNLESS NOTED OTHERWISE.
- R2 ALL ASPHALT AND CONCRETE REMOVALS SHALL BE SAW CUT TO PROVIDE VERTICAL FACE TO PAVE AGAINST. SAW CUTTING SHALL BE CONSIDERED INCIDENTAL TO REMOVAL BID ITEMS.
- R3 SAW CUT AND REMOVE ASPHALT PAVEMENT.
- R4 REMOVE AND DISPOSE OF GRAVEL.
- R5 REMOVE SIGN AND POST.
- R6 REMOVE AND DISPOSE OF TREES.
- R7 REMOVE AND RELOCATE ELECTRICAL LINE. COORDINATE WITH ELECTRICAL COMPANY FOR RELOCATION AND INSTALLATION.
- R8 REMOVE AND RELOCATE FIBER LINE. COORDINATE WITH ELECTRICAL COMPANY FOR RELOCATION AND INSTALLATION.
- R9 REMOVE PORTION OF SANITARY FORCE MAIN. REPLACE WITH GRAVITY SANITARY SEWER LINE.
- R10 REMOVE AND DISPOSE OF STORM SEWER PIPE

REVISIONS

DATE	REVISIONS

REMOVALS & EROSION CONTROL PLAN

PART OF LOT 35 BLOCK 1, MARINA BAY ADDITION

SWENSON, HAGEN & COMPANY P.C.

3002 Arroyo Avenue
Bismarck, North Dakota 58504
shcng@swensonhagen.com
Phone (701) 223-2600
Fax (701) 223-2606

**Surveying
Hydrology
Land Planning
Civil Engineering
Landscape & Site Design
Construction Management**

SH & Co

DRAWN BY: SR

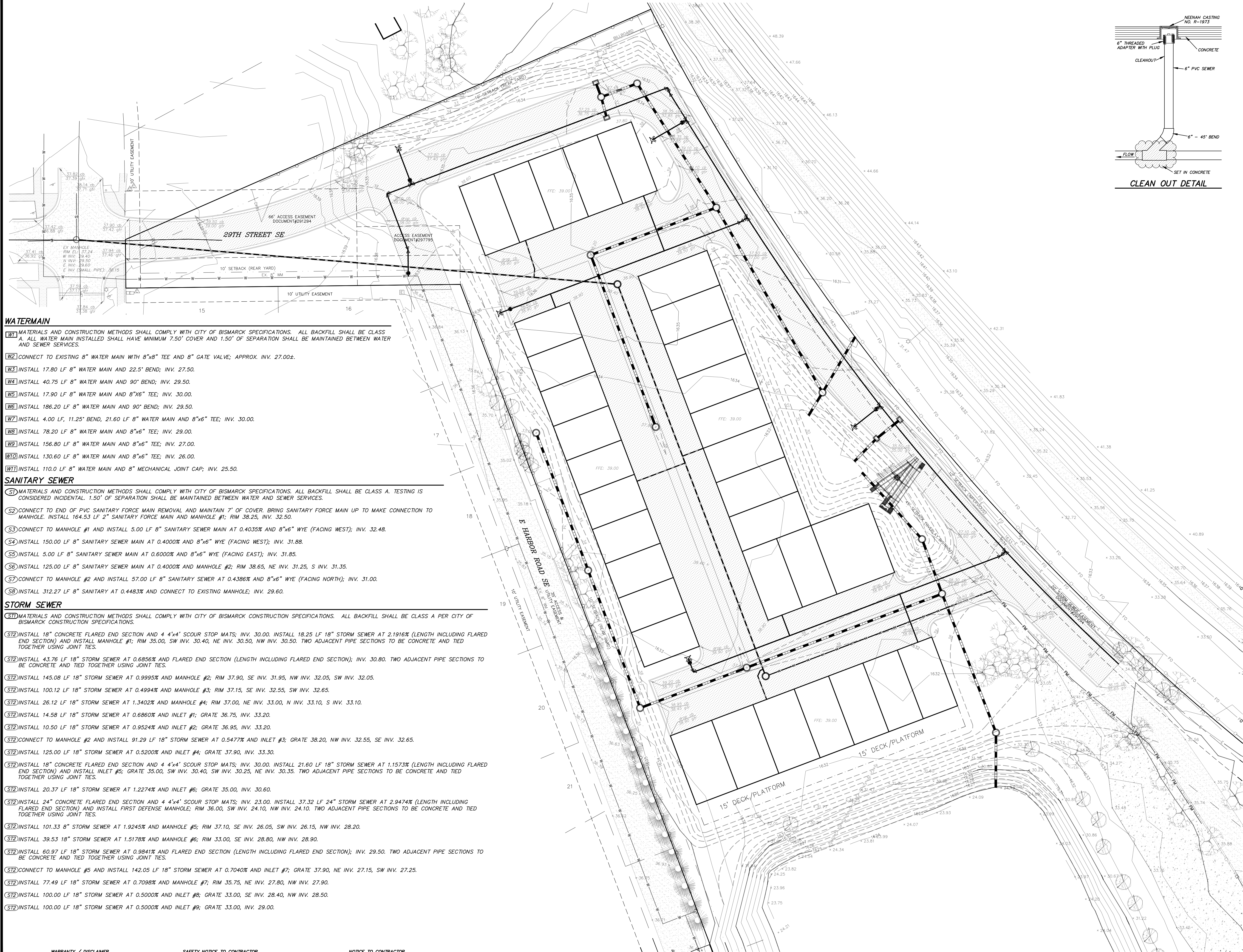
CHECK BY: JP

DATE: 06/22/2026

PROJ.#: _____

COMPUTER FILE: P:\Morton County, ND\Mandan\Marina Bay Add\Lot 35 Blk 1(Shop Condos)\Lot 35 Blk 1 Marina Bay Add Site Survey.dwg

SHEET C2.0



WATERMAIN

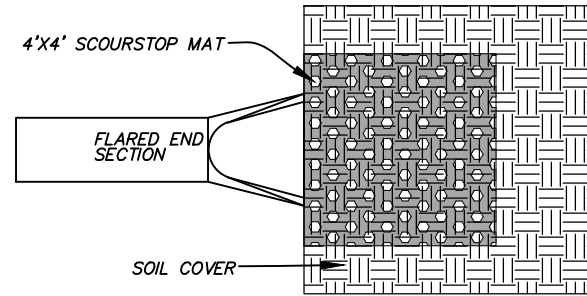
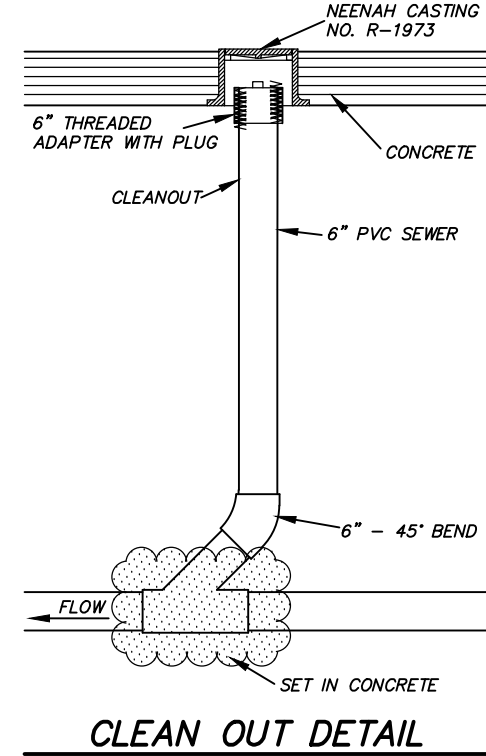
- [W1] MATERIALS AND CONSTRUCTION METHODS SHALL COMPLY WITH CITY OF BISMARCK SPECIFICATIONS. ALL BACKFILL SHALL BE CLASS A. ALL WATER MAIN INSTALLED SHALL HAVE MINIMUM 7.50' COVER AND 1.50' OF SEPARATION SHALL BE MAINTAINED BETWEEN WATER AND SEWER SERVICES.
- [W2] CONNECT TO EXISTING 8" WATER MAIN WITH 8"x8" TEE AND 8" GATE VALVE; APPROX. INV. 27.00±.
- [W3] INSTALL 17.80 LF 8" WATER MAIN AND 22.5" BEND; INV. 27.50.
- [W4] INSTALL 40.75 LF 8" WATER MAIN AND 90° BEND; INV. 29.50.
- [W5] INSTALL 17.90 LF 8" WATER MAIN AND 8"x6" TEE; INV. 30.00.
- [W6] INSTALL 186.20 LF 8" WATER MAIN AND 90° BEND; INV. 29.50.
- [W7] INSTALL 4.00 LF, 11.25" BEND, 21.60 LF 8" WATER MAIN AND 8"x6" TEE; INV. 30.00.
- [W8] INSTALL 78.20 LF 8" WATER MAIN AND 8"x6" TEE; INV. 29.00.
- [W9] INSTALL 156.80 LF 8" WATER MAIN AND 8"x6" TEE; INV. 27.00.
- [W10] INSTALL 130.60 LF 8" WATER MAIN AND 8"x6" TEE; INV. 26.00.
- [W11] INSTALL 110.0 LF 8" WATER MAIN AND 8" MECHANICAL JOINT CAP; INV. 25.50.

SANITARY SEWER

- [S1] MATERIALS AND CONSTRUCTION METHODS SHALL COMPLY WITH CITY OF BISMARCK SPECIFICATIONS. ALL BACKFILL SHALL BE CLASS A. TESTING IS CONSIDERED INCIDENTAL. 1.50' OF SEPARATION SHALL BE MAINTAINED BETWEEN WATER AND SEWER SERVICES.
- [S2] CONNECT TO END OF PVC SANITARY FORCE MAIN REMOVAL AND MAINTAIN 7' OF COVER. BRING SANITARY FORCE MAIN UP TO MAKE CONNECTION TO MANHOLE. INSTALL 164.53 LF 2" SANITARY FORCE MAIN AND MANHOLE #1; RIM 38.25, INV. 32.50.
- [S3] CONNECT TO MANHOLE #1 AND INSTALL 5.00 LF 8" SANITARY SEWER MAIN AT 0.4035% AND 8"x6" WYE (FACING WEST); INV. 32.48.
- [S4] INSTALL 150.00 LF 8" SANITARY SEWER MAIN AT 0.4000% AND 8"x6" WYE (FACING WEST); INV. 31.88.
- [S5] INSTALL 5.00 LF 8" SANITARY SEWER MAIN AT 0.6000% AND 8"x6" WYE (FACING EAST); INV. 31.85.
- [S6] INSTALL 125.00 LF 8" SANITARY SEWER MAIN AT 0.4000% AND MANHOLE #2; RIM 38.65, NE INV. 31.25, S INV. 31.35.
- [S7] CONNECT TO MANHOLE #2 AND INSTALL 57.00 LF 8" SANITARY SEWER AT 0.4386% AND 8"x6" WYE (FACING NORTH); INV. 31.00.
- [S8] INSTALL 312.27 LF 8" SANITARY AT 0.4483% AND CONNECT TO EXISTING MANHOLE; INV. 29.60.

STORM SEWER

- [ST1] MATERIALS AND CONSTRUCTION METHODS SHALL COMPLY WITH CITY OF BISMARCK CONSTRUCTION SPECIFICATIONS. ALL BACKFILL SHALL BE CLASS A PER CITY OF BISMARCK CONSTRUCTION SPECIFICATIONS.
- [ST2] INSTALL 18" CONCRETE FLARED END SECTION AND 4 4"x4" SCOUR STOP MATS; INV. 30.00. INSTALL 18.25 LF 18" STORM SEWER AT 2.1916% (LENGTH INCLUDING FLARED END SECTION) AND INSTALL MANHOLE #1; RIM 35.00, SW INV. 30.40, NE INV. 30.50, NW INV. 30.50. TWO ADJACENT PIPE SECTIONS TO BE CONCRETE AND TIED TOGETHER USING JOINT TIES.
- [ST2] INSTALL 43.76 LF 18" STORM SEWER AT 0.6856% AND FLARED END SECTION (LENGTH INCLUDING FLARED END SECTION); INV. 30.80. TWO ADJACENT PIPE SECTIONS TO BE CONCRETE AND TIED TOGETHER USING JOINT TIES.
- [ST2] INSTALL 145.08 LF 18" STORM SEWER AT 0.9995% AND MANHOLE #2; RIM 37.90, SE INV. 31.95, NW INV. 32.05, SW INV. 32.05.
- [ST2] INSTALL 100.12 LF 18" STORM SEWER AT 0.4994% AND MANHOLE #3; RIM 37.15, SE INV. 32.55, SW INV. 32.65.
- [ST2] INSTALL 26.12 LF 18" STORM SEWER AT 1.3402% AND MANHOLE #4; RIM 37.00, NE INV. 33.00, N INV. 33.10, S INV. 33.10.
- [ST2] INSTALL 14.58 LF 18" STORM SEWER AT 0.6860% AND INLET #1; GRATE 36.75, INV. 33.20.
- [ST2] INSTALL 10.50 LF 18" STORM SEWER AT 0.9524% AND INLET #2; GRATE 36.95, INV. 33.20.
- [ST2] CONNECT TO MANHOLE #2 AND INSTALL 91.29 LF 18" STORM SEWER AT 0.5477% AND INLET #3; GRATE 38.20, NW INV. 32.55, SE INV. 32.65.
- [ST2] INSTALL 125.00 LF 18" STORM SEWER AT 0.5200% AND INLET #4; GRATE 37.90, INV. 33.30.
- [ST2] INSTALL 18" CONCRETE FLARED END SECTION AND 4 4"x4" SCOUR STOP MATS; INV. 30.00. INSTALL 21.60 LF 18" STORM SEWER AT 1.1573% (LENGTH INCLUDING FLARED END SECTION) AND INSTALL INLET #5; GRATE 35.00, SW INV. 30.40, SW INV. 30.25, NE INV. 30.35. TWO ADJACENT PIPE SECTIONS TO BE CONCRETE AND TIED TOGETHER USING JOINT TIES.
- [ST2] INSTALL 20.37 LF 18" STORM SEWER AT 1.2274% AND INLET #6; GRATE 35.00, INV. 30.60.
- [ST2] INSTALL 24" CONCRETE FLARED END SECTION AND 4 4"x4" SCOUR STOP MATS; INV. 23.00. INSTALL 37.32 LF 24" STORM SEWER AT 2.9474% (LENGTH INCLUDING FLARED END SECTION) AND INSTALL FIRST DEFENSE MANHOLE; RIM 36.00, SW INV. 24.10, NW INV. 24.10. TWO ADJACENT PIPE SECTIONS TO BE CONCRETE AND TIED TOGETHER USING JOINT TIES.
- [ST2] INSTALL 101.33 8" STORM SEWER AT 1.9245% AND MANHOLE #5; RIM 37.10, SE INV. 26.05, SW INV. 26.15, NW INV. 28.20.
- [ST2] INSTALL 39.53 18" STORM SEWER AT 1.5178% AND MANHOLE #6; RIM 33.00, SE INV. 28.80, NW INV. 28.90.
- [ST2] INSTALL 60.97 LF 18" STORM SEWER AT 0.9841% AND FLARED END SECTION (LENGTH INCLUDING FLARED END SECTION); INV. 29.50. TWO ADJACENT PIPE SECTIONS TO BE CONCRETE AND TIED TOGETHER USING JOINT TIES.
- [ST2] CONNECT TO MANHOLE #5 AND INSTALL 142.05 LF 18" STORM SEWER AT 0.7040% AND INLET #7; GRATE 37.90, NE INV. 27.15, SW INV. 27.25.
- [ST2] INSTALL 77.49 LF 18" STORM SEWER AT 0.7098% AND MANHOLE #7; RIM 35.75, NE INV. 27.80, NW INV. 27.90.
- [ST2] INSTALL 100.00 LF 18" STORM SEWER AT 0.5000% AND INLET #8; GRATE 33.00, SE INV. 28.40, NW INV. 28.50.
- [ST2] INSTALL 100.00 LF 18" STORM SEWER AT 0.5000% AND INLET #9; GRATE 33.00, INV. 29.00.

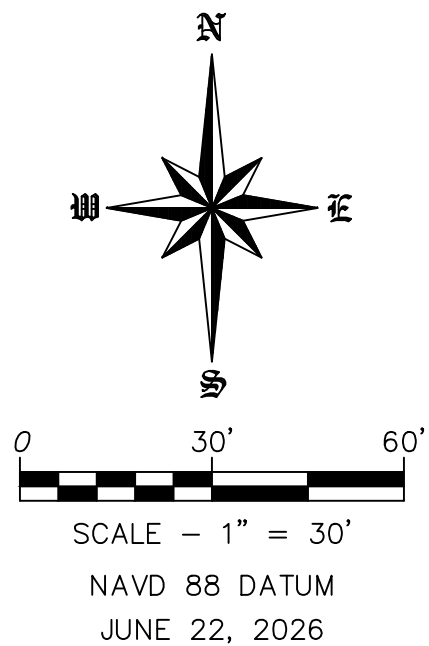


- SCOURSTOP DETAIL**
1. INSTALL APPROPRIATE SOIL COVER BEFORE INSTALLATION OF SCOURSTOP.
 2. PLACE SCOURSTOP MAT(S) ADJACENT TO CULVERT AND OTHER SCOURSTOP MATS TO AVOID GAPS.
 3. DO NOT OVERLAP ADJACENT MATS
 4. ANCHOR SCOURSTOP WITH MINIMUM 8 BULLET ANCHORS PER MAT PER MANUFACTURES SPECIFICATIONS.

PRELIMINARY - NOT FOR CONSTRUCTION, RECORDING PURPOSES OR IMPLEMENTATION

LEGEND

- S — S — EXISTING SANITARY SEWER
- FM — FM — EXISTING FORCE MAIN SANITARY SEWER
- W — W — EXISTING WATERMAIN
- ST — ST — EXISTING STORM SEWER
- E — E — EXISTING UNDERGROUND ELECTRIC
- FO — FO — EXISTING UNDERGROUND FIBER OPTIC
- △ □ — EXISTING UTILITY RISER—VAULT
- ☆ — EXISTING LIGHT POLE
- — — EXISTING SIGN
- ⊙ — EXISTING VALVE
- ⊙ — EXISTING FIRE HYDRANT
- — EXISTING FENCE
- — — EXISTING ASPHALT
- — — EXISTING CONCRETE
- — — EXISTING GRAVEL
- — — EXISTING CONTOUR
- XXX — — — EXISTING GRADE
- — — PROPOSED SANITARY SEWER
- — — PROPOSED WATERMAIN
- — — PROPOSED STORM SEWER
- — — PROPOSED FENCE
- ⊙ — PROPOSED VALVE
- ⊙ — PROPOSED FIRE HYDRANT
- — — PROPOSED CONCRETE
- — — PROPOSED ASPHALT
- — — PROPOSED GRAVEL
- — — PROPOSED RETAINING WALL
- — — PROPOSED CONTOUR
- XXX — — — PROPOSED GRADE



WARRANTY / DISCLAIMER

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SAFETY NOTICE TO CONTRACTOR

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CALL BEFORE YOU DIG

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UTILITIES UNDERGROUND LOCATION SERVICE

1-800-795-0555

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DATE

REVISIONS

DIMENSION & UTILITY PLAN

PART OF LOT 35 BLOCK 1, MARINA BAY ADDITION

SWENSON, HAGEN & COMPANY P.C.

3002 Arway Avenue
Bismarck, North Dakota 58504
sheng@swensonsllc.com
Phone (701) 223-2600
Fax (701) 223-2606

Surveying
Hydrology
Land Planning
Civil Engineering
Landscape & Site Design
Construction Management

SW & CO

DRAWN BY: SR

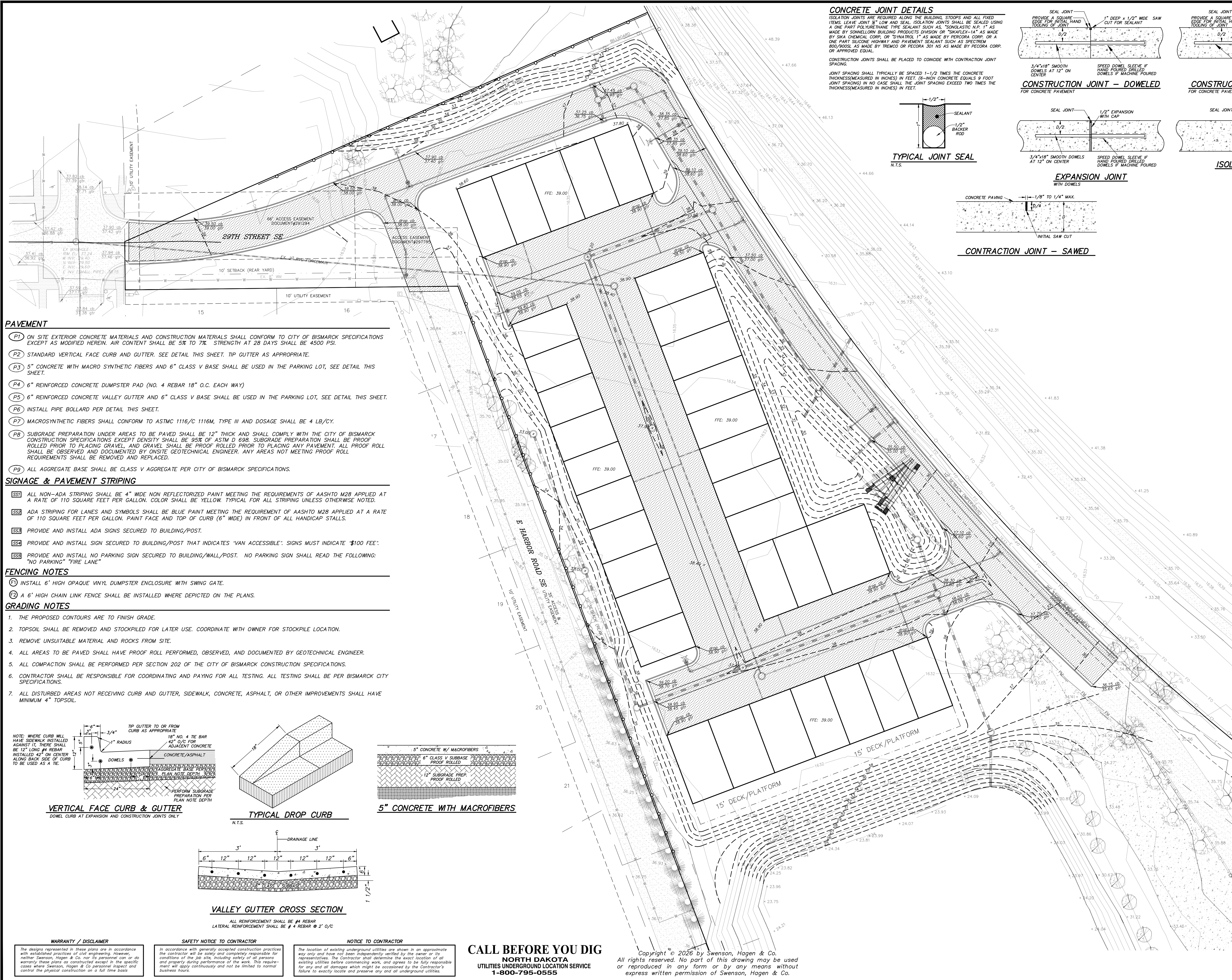
CHECK BY: JP

DATE: 06/22/2026

PROJ.#:

COMPUTER FILE:
P:\Morton County, ND\
Mandan\Marina Bay Add\
Lot 35 Bk 1 (Shop Condos)\
Lot 35 Bk 1 Marina Bay
Add Site Survey.dwg

SHEET C3.0

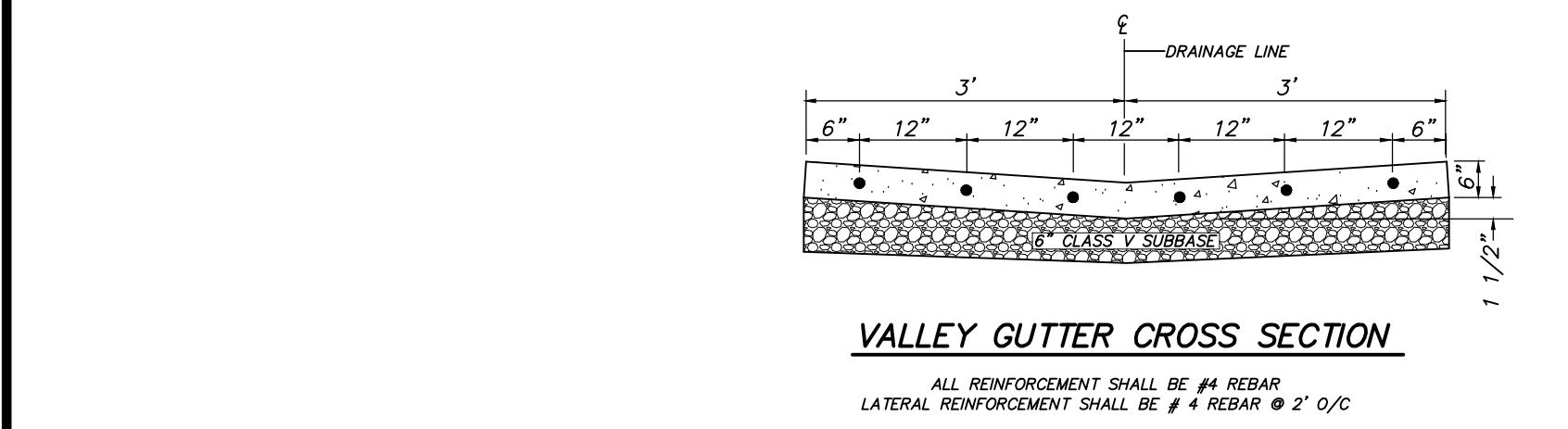
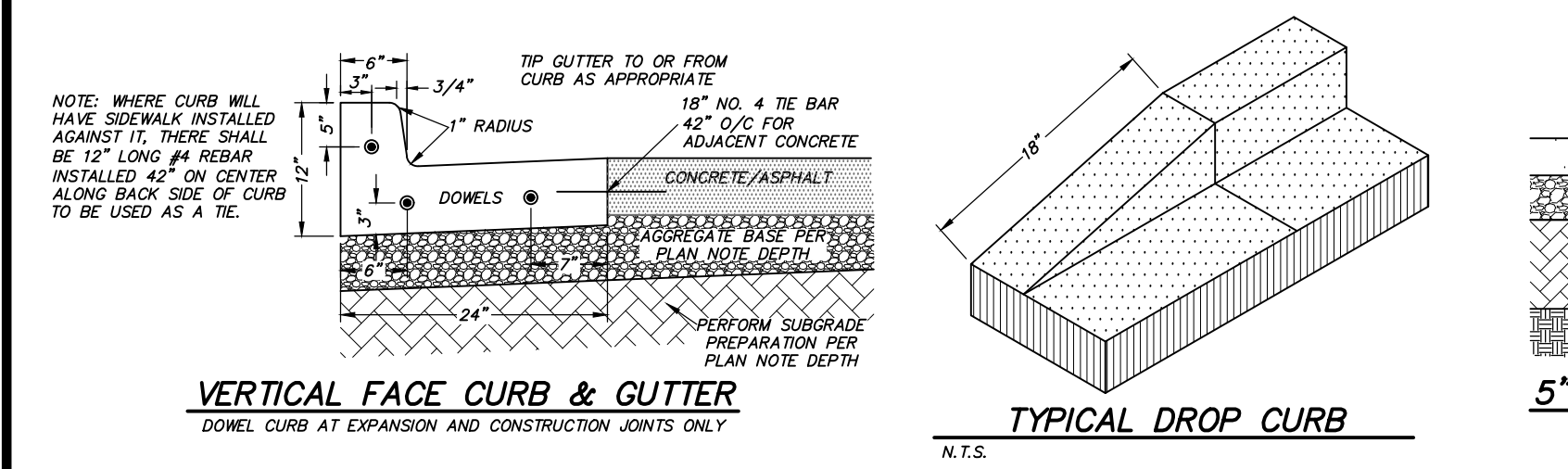


- PAVEMENT**
- P1 ON SITE EXTERIOR CONCRETE MATERIALS AND CONSTRUCTION MATERIALS SHALL CONFORM TO CITY OF BISMARCK SPECIFICATIONS EXCEPT AS MODIFIED HEREIN. AIR CONTENT SHALL BE 5% TO 7% STRENGTH AT 28 DAYS SHALL BE 4500 PSI.
 - P2 STANDARD VERTICAL FACE CURB AND GUTTER. SEE DETAIL THIS SHEET. TIP GUTTER AS APPROPRIATE.
 - P3 5" CONCRETE WITH MACRO SYNTHETIC FIBERS AND 6" CLASS V BASE SHALL BE USED IN THE PARKING LOT, SEE DETAIL THIS SHEET.
 - P4 6" REINFORCED CONCRETE DUMPSTER PAD (NO. 4 REBAR 18" O.C. EACH WAY).
 - P5 6" REINFORCED CONCRETE VALLEY GUTTER AND 6" CLASS V BASE SHALL BE USED IN THE PARKING LOT, SEE DETAIL THIS SHEET.
 - P6 INSTALL PIPE BOLLARD PER DETAIL THIS SHEET.
 - P7 MACROSYNTHETIC FIBERS SHALL CONFORM TO ASTM 1116/C 1116M, TYPE III AND DOSAGE SHALL BE 4 LB/CY.
 - P8 SUBGRADE PREPARATION UNDER AREAS TO BE PAVED SHALL BE 12" THICK AND SHALL COMPLY WITH THE CITY OF BISMARCK CONSTRUCTION SPECIFICATIONS EXCEPT DENSITY SHALL BE 95% OF ASTM D 698. SUBGRADE PREPARATION SHALL BE PROOF ROLLED PRIOR TO PLACING GRAVEL, AND GRAVEL SHALL BE PROOF ROLLED PRIOR TO PLACING ANY PAVEMENT. ALL PROOF ROLL SHALL BE OBSERVED AND DOCUMENTED BY ONSITE GEOTECHNICAL ENGINEER. ANY AREAS NOT MEETING PROOF ROLL REQUIREMENTS SHALL BE REMOVED AND REPLACED.
 - P9 ALL AGGREGATE BASE SHALL BE CLASS V AGGREGATE PER CITY OF BISMARCK SPECIFICATIONS.

- SIGNAGE & PAVEMENT STRIPING**
- SS1 ALL NON-ADA STRIPING SHALL BE 4" WIDE NON REFLECTORIZED PAINT MEETING THE REQUIREMENTS OF AASHTO M28 APPLIED AT A RATE OF 110 SQUARE FEET PER GALLON. COLOR SHALL BE YELLOW. TYPICAL FOR ALL STRIPING UNLESS OTHERWISE NOTED.
 - SS2 ADA STRIPING FOR LANES AND SYMBOLS SHALL BE BLUE PAINT MEETING THE REQUIREMENT OF AASHTO M28 APPLIED AT A RATE OF 110 SQUARE FEET PER GALLON. PAINT FACE AND TOP OF CURB (6" WIDE) IN FRONT OF ALL HANDICAP STALLS.
 - SS3 PROVIDE AND INSTALL ADA SIGNS SECURED TO BUILDING/POST.
 - SS4 PROVIDE AND INSTALL SIGN SECURED TO BUILDING/POST THAT INDICATES "VAN ACCESSIBLE". SIGNS MUST INDICATE "\$100 FEET".
 - SS5 PROVIDE AND INSTALL NO PARKING SIGN SECURED TO BUILDING/WALL/POST. NO PARKING SIGN SHALL READ THE FOLLOWING: "NO PARKING" "FIRE LANE"

- FENCING NOTES**
- F1 INSTALL 6' HIGH OPAQUE VINYL DUMPSTER ENCLOSURE WITH SWING GATE.
 - F2 A 6' HIGH CHAIN LINK FENCE SHALL BE INSTALLED WHERE DEPICTED ON THE PLANS.

- GRADING NOTES**
- THE PROPOSED CONTOURS ARE TO FINISH GRADE.
 - TOPSOIL SHALL BE REMOVED AND STOCKPILED FOR LATER USE. COORDINATE WITH OWNER FOR STOCKPILE LOCATION.
 - REMOVE UNSUITABLE MATERIAL AND ROCKS FROM SITE.
 - ALL AREAS TO BE PAVED SHALL HAVE PROOF ROLL PERFORMED, OBSERVED, AND DOCUMENTED BY GEOTECHNICAL ENGINEER.
 - ALL COMPACTION SHALL BE PERFORMED PER SECTION 202 OF THE CITY OF BISMARCK CONSTRUCTION SPECIFICATIONS.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING AND PAYING FOR ALL TESTING. ALL TESTING SHALL BE PER BISMARCK CITY SPECIFICATIONS.
 - ALL DISTURBED AREAS NOT RECEIVING CURB AND GUTTER, SIDEWALK, CONCRETE, ASPHALT, OR OTHER IMPROVEMENTS SHALL HAVE MINIMUM 4" TOPSOIL.



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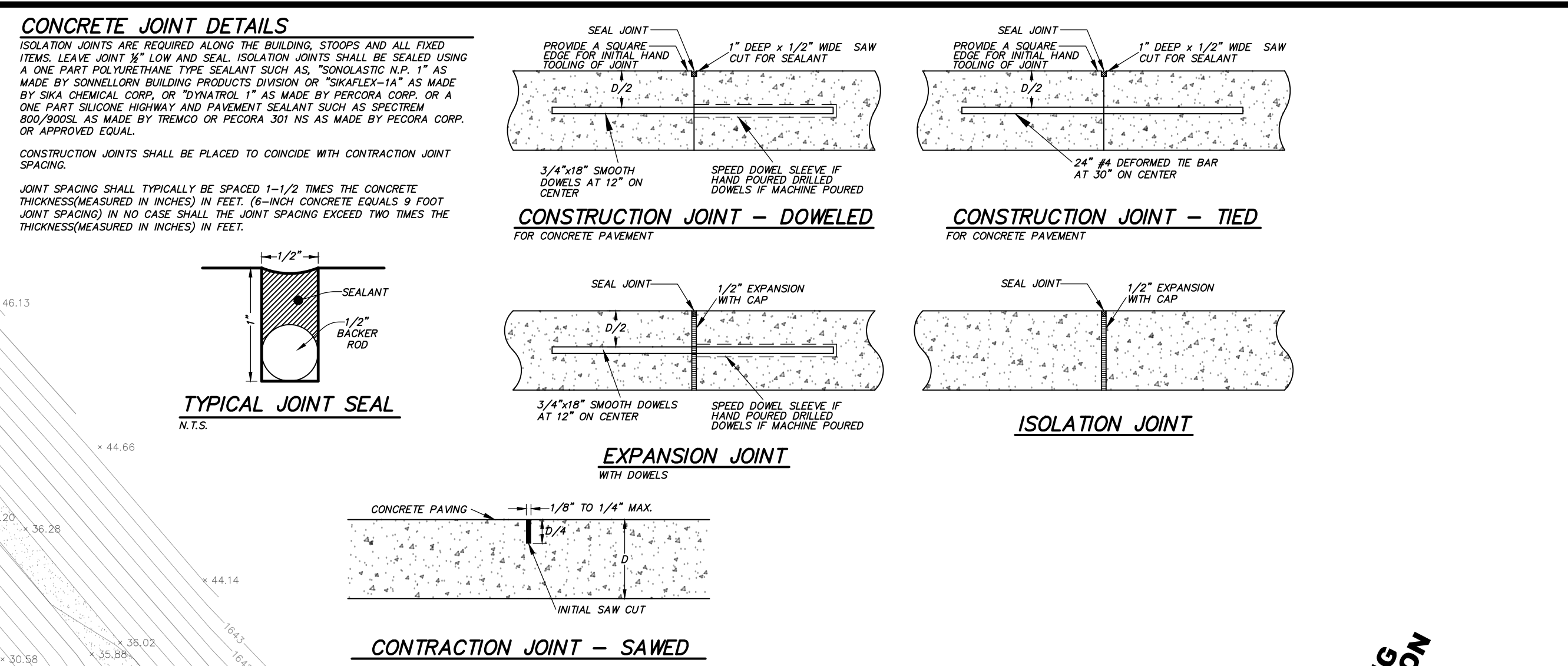
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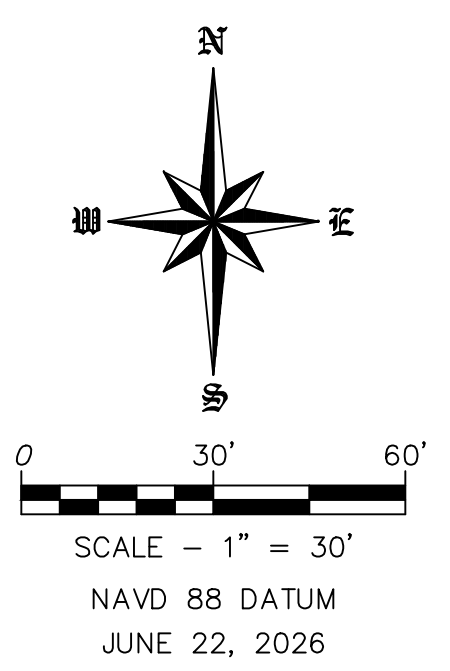
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 - — — — PROPOSED CONTOUR
 - — — — PROPOSED GRADE



DATE

REVISIONS

GRADING & PAVING PLAN

PART OF LOT 35 BLOCK 1, MARINA BAY ADDITION

SWENSON, HAGEN & COMPANY P.C.
3002 Arroyo Avenue
Bismarck, North Dakota 58504
slh@swensonswenson.com
Phone (701) 223-2600
Fax (701) 223-2606

Surveying
Hydrology
Land Planning
Civil Engineering
Geotechnical Engineering
Construction Management

SW & Co

DRAWN BY: SR
CHECK BY: JP
DATE: 06/22/2026
PROJ.#:
COMPUTER FILE:
P:\Morton County, ND\
Morton\Marina Bay Add\
Lot 35 Bk 1 (Shop Condos)\
Lot 35 Bk 1 Marina Bay
Add Site Survey.dwg

SHEET
C4.0