



**ARCHITECTURAL REVIEW
COMMISSION AGENDA
JUNE 25, 2024
VETERAN'S CONFERENCE ROOM
CITY HALL, 205 SECOND AVENUE NW
1:00 PM
WWW.CITYOFMANDAN.COM**

The public may access the Zoom meeting online at:

Join Zoom Meeting

<https://us06web.zoom.us/j/85220502131?pwd=dA08Lv0E4MyXDYakCfM0cGqThNSITu.1>

Dial +1 312 626 6799

Meeting ID: 852 2050 2131

Passcode: 913341

A. ROLL CALL

B. MINUTES

1. Minutes from June 11th Meeting

C. OLD BUSINESS

D. NEW BUSINESS

1. Proposal of AutoZone at 1120 E. Main St.

E. OTHER BUSINESS

F. UNFINISHED BUSINESS

G. ADJOURN

MARC Members

Lee Pierce, ICON Architechts - President
Victoria Vayda-Hammond - Vice President
Jordan Singer - Building Official
Jarek Wigness - City Engineer
Mitch Bitz - Fire Chief
Shane Weltikol - Resident
Vacant - Resident

Support Staff (City of Mandan)

Shasta Reindl - Administrative Asst.
Andrew Stromme - Planner
Madison Cermak - Business Development

Kendra Rennich - Resident Logan Caldwell - Resident
--

Please note: If any commission member would like additional information, please feel free to contact the Building Inspections Department at 667-3230 prior to the meeting.

June 11th Minutes MARC

1:07pm calling meeting to order.

Roll call, Shane Weltikol, Kendra Rennich, Jordan Singer, Victoria Vayda-Hammond and Jarek Wigness. Rest of the members are absent.

Minutes from May 2nd meeting. No discussion. Jarek moved to approve minutes with motion. Shane second. Minutes approved.

New business shop proposal for Val Renner. South of the existing shop condos, same style, same colors as other shops. Four shops, and one office on each set. One set at the moment, with one more to the west. No new driveways, everything existing. Whole structure 160' long 50' wide, 30'x30' office. All hard surfaced. Extra parking up north. Andrew said the buffer strip needs to be installed on the west side. This was something that was brought up a year ago when the special use permit was permitted and needs to be figured out. Jarek mentioned distance issue, a little narrow, with handicapped parking spot. Andrew mentioned maple trees and a lot of people don't have a lot of luck with maple trees. Is suggesting something more hearty. Presented materials, same as other building. Madison asked if they are rented, and there is a lot of demand. All businesses at the moment. One is a salon with 9 booths. Jordan said we would do one building at a time for approval. One dumpster for each building. May need to incorporate larger dumpster screening. Shane asked if the storm water plan went through. Jarek said the storm water plan did go through approval. Shane motioned to approve contingent on landscaping plan. Victoria second.

Roll call vote: Jordan, yes. Kendra, yes. Jarek, yes. Victoria, yes. Shane, yes.

Motion passes.

Meeting adjourned.



ARCHITECTURAL REVIEW COMMISSION APPLICATION

Applications need to be submitted to the Building Inspections Department no later than 12 p.m. (noon) on the Wednesday prior to the scheduled meeting at which consideration is desired. Digital submittals will be accepted. If paper copies are submitted a copy of the following information is required. They shall be no larger than 11 x 17 and need to have complete sets, drawn to scale. Incomplete applications will not be accepted. If you have any question call the Building Inspections department at 701-667-3230.

1. Description of Proposed Activity: NEW AUTOZONE RETAIL STORE;
DEMOLITION OF FORMER RESTAURANT BUILDING
2. Name of Owner: CLAREMONT 3G LLLP
Mailing Address: C/O BRETT BINA, CRA, 216 N 2ND ST., BISMARCK, ND 58501
Phone (Cell) _____ (Office) 701-527-9101
3. Name of Architect if applicable: BOWEN C/O MELANIE LEWIS
Mailing Address: 7019 CENTER ST., STE. 500, CLEVELAND, OH 44113
Phone (Cell) _____ (Office) 216-377-3850
4. Name of Contractor: TBD
Mailing Address: _____
Phone (Cell) _____ (Office) _____
5. Parcel Address: 1120 E. MAIN ST., MANDAN, ND 58554
6. Legal Description:
Lot 7-16 Block 4 Addition HELMSWORTH & MCLEAN'S
Section S 1/2 NW 1/4 OF 36 Township 139 N Range 81 W
7. Zoning: DOWNTOWN FRINGE
8. Special Purpose District: _____
9. Existing Land Use: FORMER RESTAURANT - CLOSED.
10. Lot Size (Sq Ft) 32,129 SF
Existing Bldg Area (Sq Ft) 4,610 SF
Proposed Bldg Area (Sq Ft) 7,381 SF
11. Estimated Cost of Project: \$1,850,000
➤ Is this project receiving incentives from the City of Mandan? Yes ___ No X
If you are receiving incentives please indicate which programs have been applied for.

I understand the procedures for Architectural Review and have received the checklist (see attached sheet) to be followed for approval as set forth in Chapter 111-1 of the Mandan City Code.

Approvals are subject to compliance with Federal, State and Local regulations.

Applicant: TC TOM MICHAELS, DEVELOPMENT MGR.
ZAREMBA GROUP, LLC Date: 19 JUNE 2024
(DEVELOPER)

Revised (9-20)



6/19/24

City of Mandan, ND
Attn: Andrew Stromme and Jarek Wigness
205 Second Avenue NW
Mandan, ND 58554

RE: MARC Application for Proposed AutoZone at 1120 E. Main St. – Stormwater Management Waiver

Mr. Stromme and Mr. Wigness,

For the proposed AutoZone retail store at 1120 E. Main Street, the Applicant is requesting a waiver for stormwater management since the existing site is 100% impervious and the proposed AutoZone project will include over 7,000 Square feet of new green space (plantings beds and lawn areas). The addition of green space will generate less stormwater runoff than the existing conditions so the project will have a positive impact on the City's storm sewer system.

Please let us know if you have any questions or would like to discuss this further.

Thank you,

Alan Catchpool, PE – Project Civil Engineer

A handwritten signature in black ink that reads "Alan Catchpool".

Mitchell Cookas, PLA – Project Manager

A handwritten signature in blue ink that reads "Mitchell G. Cookas".

K:\TWC_LDEV\Zaremba Group\Autozone - Mandan ND\Design\CAD\PlanSheet\CO-COVER SHEET.dwg June 19, 2024 - 11:35am
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AutoZone Store Development
Civil Engineering Plans Submission

for:

AutoZone
1120 E MAIN STREET,
MANDAN, ND 58554

PROJECT TEAM:

ENGINEER
KIMLEY-HORN AND ASSOCIATES, INC.



PREPARED BY:
ALAN L. CATCHPOOL, P.E.
767 N EUSTIS STREET, SUITE 100
ST PAUL, MN 55114
TELEPHONE (651) 645-4197

LANDSCAPE ARCHITECT
KIMLEY-HORN AND ASSOCIATES, INC.



PREPARED BY:
RYAN A. HYLLESTED, PLA.
767 N EUSTIS STREET, SUITE 100
ST PAUL, MN 55114
TELEPHONE (651) 645-4197

DEVELOPER
ZAREMBA GROUP, LLC
14600 DETROIT AVE., SUITE 1500
LAKEWOOD, OH 44107
TEL: (216) 221-2136
CONTACT: TOM MICHAELS

ARCHITECT
2019 CENTER ST. SUITE 500
CLEVELAND, OH 44113
TELEPHONE: (216) 491-9300
CONTACT: MELANIE LEWIS

SURVEYOR
MOUNTAIN PLAINS LLC
1300 TACOMA AVENUE, STE A.
BISMARCK, ND 58504
TELEPHONE: (701) 557-3348
CONTACT: MIKE J. TARNOWSKI, PLS



VICINITY
N.T.S.



SITE

- NOTES:
1. CONTRACTOR SHALL CONFIRM THAT THE EXISTING CONDITIONS FOR THE SITE MATCH WHAT IS SHOWN ON THE DRAWINGS INCLUDED PRIOR TO CONSTRUCTION.
 2. IF REPRODUCED, THE SCALES SHOWN ON THESE PLANS ARE BASED ON A 22x34 SHEET.
 3. ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICES COMPANIES SHALL BE PERFORMED PRIOR TO ANNOUNCED BUILDING POSSESSION AND THE FINAL CONNECTION OF SERVICES.
 4. ALL GENERAL CONTRACTOR WORK TO BE COMPLETED (EARTHWORK, FINAL UTILITIES, AND FINAL GRADING) BY THE MILESTONE DATE IN PROJECT DOCUMENTS.

DRAWING INDEX	
SHEET NO.	SHEET TITLE
C000	COVER SHEET
C101	ALTA TOPOGRAPHY SURVEY
C102	SURVEY
C400	SITE PLAN
C400	TRUCK TURNING MOVEMENT
C500	GRADING AND DRAINAGE PLAN
C600	UTILITY PLAN
L100	LANDSCAPE PLAN
L101	LANDSCAPE DETAILS



PRELIMINARY - NOT FOR CONSTRUCTION

AUTOZONE
1120 E MAIN ST
PREPARED FOR
ZAREMBA GROUP
MANDAN ND

COVER SHEET

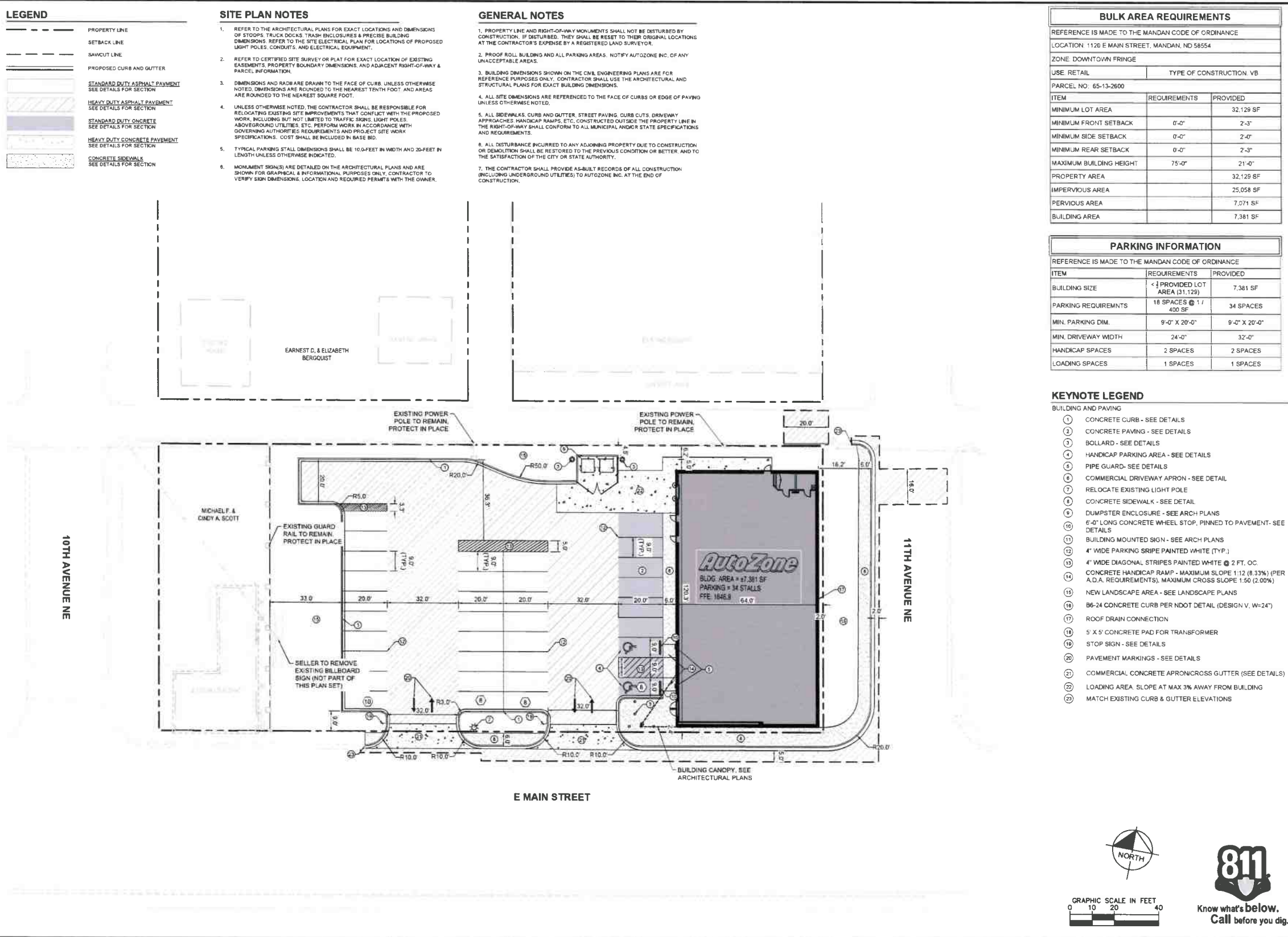
SHA PROJECT 160147002	DATE 06/19/2024	SCALE AS SHOWN	ALC
DESIGNED BY JMRH	CHECKED BY ALC		

Kimley-Horn
2033 KIMLEY-HORN AND ASSOCIATES, INC.
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PHONE: (651) 645-4197
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No.	REVISIONS	DATE	BY



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SITE PLAN

AUTOZONE
1120 E MAIN ST
PREPARED FOR
ZAREMBA GROUP

MANDAN

PRELIMINARY - NOT FOR CONSTRUCTION

REVISIONS

NO.	DATE	BY

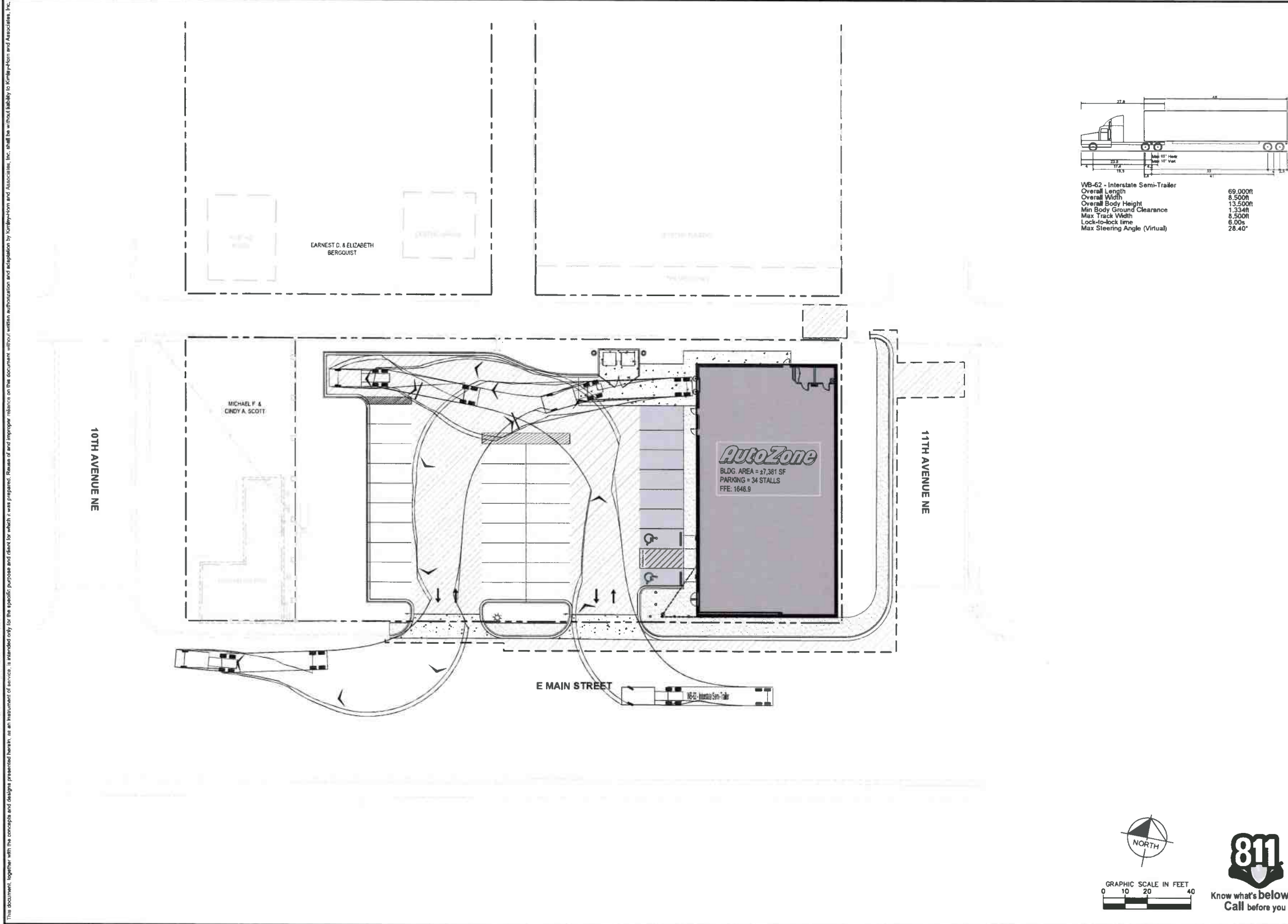
KEYNOTE LEGEND

DATE 06/19/2024
SCALE AS SHOWN
DESIGNED BY ALC
DRAWN BY JMB
CHECKED BY ALC

SHEET NUMBER
C400

K:\TWC_LDEV\Zarembe Group\Autozone - Mandan NDS Design\CAD\PlanSheets\CA-TRUCK TURNING MOVEMENT.dwg June 19, 2024 - 11:38am

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WB-62 - Interstate Semi-Trailer
Overall Length 69.00ft
Overall Width 8.50ft
Overall Body Height 13.50ft
Min Body Ground Clearance 1.33ft
Max Track Width 8.50ft
Lock-to-lock time 6.00s
Max Steering Angle (Virtual) 28.40°



GRAPHIC SCALE IN FEET
0 10 20 40



PRELIMINARY - NOT FOR CONSTRUCTION

AUTOZONE
1120 E MAIN ST
PREPARED FOR
ZAREMBA GROUP

TRUCK TURNING
MOVEMENT

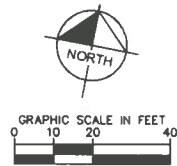
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NO.	REVISIONS	DATE	BY

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SCALE AS SHOWN	DESIGNED BY ALC
DRAWN BY JMRH	CHECKED BY ALC

MANDAN ND

SHEET NUMBER
C401



PROPERTY LINE

EXISTING CONTOUR

PROPOSED CONTOUR

PROPOSED STORM MANHOLE (ROUND INLET CASTING)

PROPOSED STORM MANHOLE / CATCH BASIN (CURB INLET CASTING)

PROPOSED STORM SEWER

PROPOSED SPOT ELEVATION

PROPOSED HIGH POINT ELEVATION

PROPOSED LOW POINT ELEVATION

PROPOSED GUTTER ELEVATION

PROPOSED TOP OF CURB ELEVATION

PROPOSED FLUSH PAVEMENT ELEVATION

MATCH EXISTING ELEVATION

PROPOSED DRAINAGE DIRECTION

0.0%

1. **PERFORM GRADING WORK IN ACCORDANCE WITH APPLICABLE CITY SPECIFICATIONS AND BUILDING PERMIT REQUIREMENTS.**
2. **CONTACT STATE 911 CALL-BEFORE-YOU-DIG LOCATING SERVICE AT LEAST TWO WORKING DAYS PRIOR TO EXCAVATION FOR UNDERGROUND UTILITY LOCATIONS.**
3. **CONTRACTOR SHALL BE RESPONSIBLE FOR ALL HORIZONTAL AND VERTICAL CONTROL.**
4. **FIELD VERIFY THE LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES AND TOPOGRAPHIC FEATURES PRIOR TO THE START OF ANY DISTURBING ACTIVITIES. NOTIFY THE PROJECT ENGINEER OF ANY DISCREPANCIES OR VARIATIONS IMPACTING THE PROPOSED DESIGN OF THE PROJECT.**
5. **IN PAVED AREAS, ROUTE GRADE TO SURGRADE ELEVATION AND LEAVE THE SITE READY FOR SUB-BASE.**
6. **SURGRADE EXCAVATION SHALL BE BACKFILLED IMMEDIATELY AFTER EXCAVATION TO HELP PREVENT EROSION. IN ALL AREAS, EXCAVATION SHALL BE BACKFILLED WITH STEEP SLOPES WHEN PLACING NEW SURFACE MATERIAL ADJACENT TO EXISTING PAVEMENT. THE EXCAVATION SHALL BE BACKFILLED PROMPTLY TO AVOID UNDERMINING OF EXISTING PAVEMENT.**
7. **ELEVATIONS SHOWN REPRESENT FINISHED SURFACE GRADES. SLOPE ELEVATIONS ALONG CURBS & GUTTER REPRESENT THE FLOW LINE UNLESS OTHERWISE NOTED**
8. **EXCESS MATERIAL, BITUMINOUS SURFACING, CONCRETE ITEMS, ABANDONED UTILITY ITEMS, AND OTHER UNDESIRABLE MATERIALS SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE DISPOSED OF OFF THE CONSTRUCTION SITE.**
9. **CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTION OF PAVEMENTS AND CURBS AND GUTTER WITH SMOOTH UNIFORM SLOPES THAT WILL PROVIDE POSITIVE DRAINAGE TO COLLECTION POINTS. MINIMUM SLOPE SHALL BE 0.5% FOR ASPHALT PAVEMENT AREAS AND A MINIMUM SLOPE OF 0.50% IN CONCRETE PAVEMENT AREAS.**
10. **MAINTAIN A MINIMUM SLOPE OF 0.50% ALONG CURBS & GUTTER. REVIEW PAVEMENT GRADIENT AND CONSTRUCT "INFALL" CURBS WHERE PAVEMENT DRAINS TOWARD THE GUTTER, AND "OUTFALL" CURBS WHERE PAVEMENT DRAINS AWAY FROM THE GUTTER.**
11. **INSTALL A MINIMUM OF 4-INCHES OF AGGREGATE BASE MATERIAL UNDER PROPOSED CONCRETE CURBS & GUTTER, SIDEWALKS, AND TRAILS UNLESS OTHERWISE DETAILED.**
12. **GRADING FOR SIDEWALKS AND ACCESSIBLE ROUTES, INCLUDING CROSSING DRIVEWAYS, SHALL CONFORM TO CURRENT STATE AND FEDERAL STANDARDS:**
 - **ACCESSIBLE RAMP SLOPES SHALL NOT EXCEED 8.1% (1:12).**
 - **SIDEWALK CROSS-SLOPES SHALL NOT EXCEED 2.0%.**
 - **LONGITUDINAL SIDEWALK SLOPES SHALL NOT EXCEED 5.0%.**
 - **POSSIBLE PARKING STALLS AND ACCESSIBLE SLABS SHALL NOT EXCEED 2.0% IN ANY DIRECTION. A MAXIMUM SLOPE OF 1.50% IS PREFERRED.**
13. **SIDEWALK ACCESS TO EXTERNAL BUILDING DOORS AND GATES SHALL BE ADA COMPLIANT. NOTIFY ENGINEER IMMEDIATELY IF ADA CRITERIA CANNOT BE MET IN ANY LOCATION PRIOR TO PAVEMENT INSTALLATION. CHANGING ORDERS WILL NOT BE ACCEPTED FOR ADA COMPLIANCE ISSUES.**
14. **UPON COMPLETION OF LAND DISTURBING ACTIVITIES, RESTORE ADJACENT OFFSITE AREAS DISTURBED BY CONSTRUCTION TO MATCH OR EXCEED THE ORIGINAL CONDITION. LANDSCAPE AREAS SHALL BE RE-VEGETATED WITH A MINIMUM OF 4-INCHES OF TOPSOIL.**
15. **EXCAVATE DRAINAGE TRENCHES TO FOLLOW PROPOSED STORM SEWER ALIGNMENTS. PROVIDE SUFFICIENT UTILITY PROTECTION TO EXISTING UTILITIES. PROPOSED STORM SEWERS, WATER MAIN, AND OTHER BUILDING UTILITY SERVICE CONNECTIONS.**

1. INSTALL STORM SEWER IN ACCORDANCE WITH APPLICABLE CITY OR STATE SPECIFICATIONS, STANDARD PLUMBING CODE, AND BUILDING PERMIT REQUIREMENTS.
2. CONTACT STATE TO EX-1 CALL-BEFORE-YOU-DIG LOCATING SERVICE AT LEAST TWO WORKING DAYS PRIOR TO EXCAVATION FOR UNDERGROUND UTILITY LOCATIONS.
3. STORM SEWER PIPE SHALL BE AS FOLLOWS:
 - RCP: ASTM C77
 - HDP: ASTM F-714, F-404
 - PVC: ASTM D-2729
 - PCAST: ASTM D-2729, D-735, D-2885, F-794DRAIN TILE SHALL BE AS FOLLOWS:
 - PC: ASTM F-4067
 - PVC: ASTM D-2729FITTINGS SHALL BE AS FOLLOWS:
 - RCP: ASTM C-77, JOINTS PER ASTM D-3181, C-490; AND C-443
 - HDP: ASTM D-3212
 - PVC: ASTM D-2729, JOINTS PER ASTM D-3212
 - PC: SCH40, ASTM D-2885, F-714, F-1988
4. CONTRACTOR IS RESPONSIBLE FOR ALL HORIZONTAL AND VERTICAL CONTROL.
5. FIELD VERIFY THE LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES AND TOPOGRAPHIC DATA PRIOR TO THE PROCEEDING FOR LAYOUT AND ELEVATIONS FOR PROPOSED SANITARY AND STORM SEWER. NOTIFY THE CITY OF ANY DISCREPANCIES OR VARIATIONS IMPACTING THE PROPOSED DESIGN OF THE PROJECT.
6. EXCAVATE DRAINAGE TRENCHES TO FOLLOW PROPOSED STORM SEWER ALIGNMENTS. REFER TO UTILITY PLANS FOR LAYOUT AND ELEVATIONS FOR PROPOSED SANITARY AND STORM SEWER. EXCAVATE AND INSTALL DRAINAGE TRENCHES FOR PROPOSED SANITARY SEWER, WATER MAIN, AND OTHER BUILDING UTILITY SERVICE CONNECTIONS. REFER TO THE GRADING PLAN FOR DETAILED SURFACE ELEVATIONS.
7. EXCESS MATERIAL, BITUMINOUS SURFACING, CONCRETE ITEMS, ABANDONED UTILITY ITEMS, AND OTHER UNSTABLE MATERIALS SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE DISPOSED OF AT THE CONSTRUCTION SITE.
8. COORDINATE WITH THE PLUMBING PLANS FOR THE LOCATION, SIZE AND ELEVATION OF THE PROPOSED UNDERGROUND ROOF DRAIN CONNECTIONS.
9. WHERE STORM SEWER ROOF DRAINS HAVE LESS THAN 4 FEET OF COVER IN PAVED AREAS OR 3 FEET OF COVER IN LANDSCAPE AREAS, PROVIDE 3/8" THICK INSULATION A MINIMUM OF 3 FEET IN WIDTH, CENTERED ON THE PIPE.
10. ALL STORM SEWER PIPE JOINTS SHALL BE WATER-TIGHT CONNECTIONS.
11. ALL STORM SEWER PIPE CONNECTIONS TO MANHOLES SHALL BE GASKETED AND WATER TIGHT. BOOSTED COUPLERS AT THE STRUCTURE OR A WATER STOP WITH NON-SHRINK GROUT MAY BE USED IN ACCORDANCE WITH LOCAL CODES.
12. CONTRACTOR SHALL AT TEST ALL STORM SEWER PIPE IN ACCORDANCE WITH LOCAL CODE REQUIREMENTS.

GRADING AND DRAINAGE PLAN

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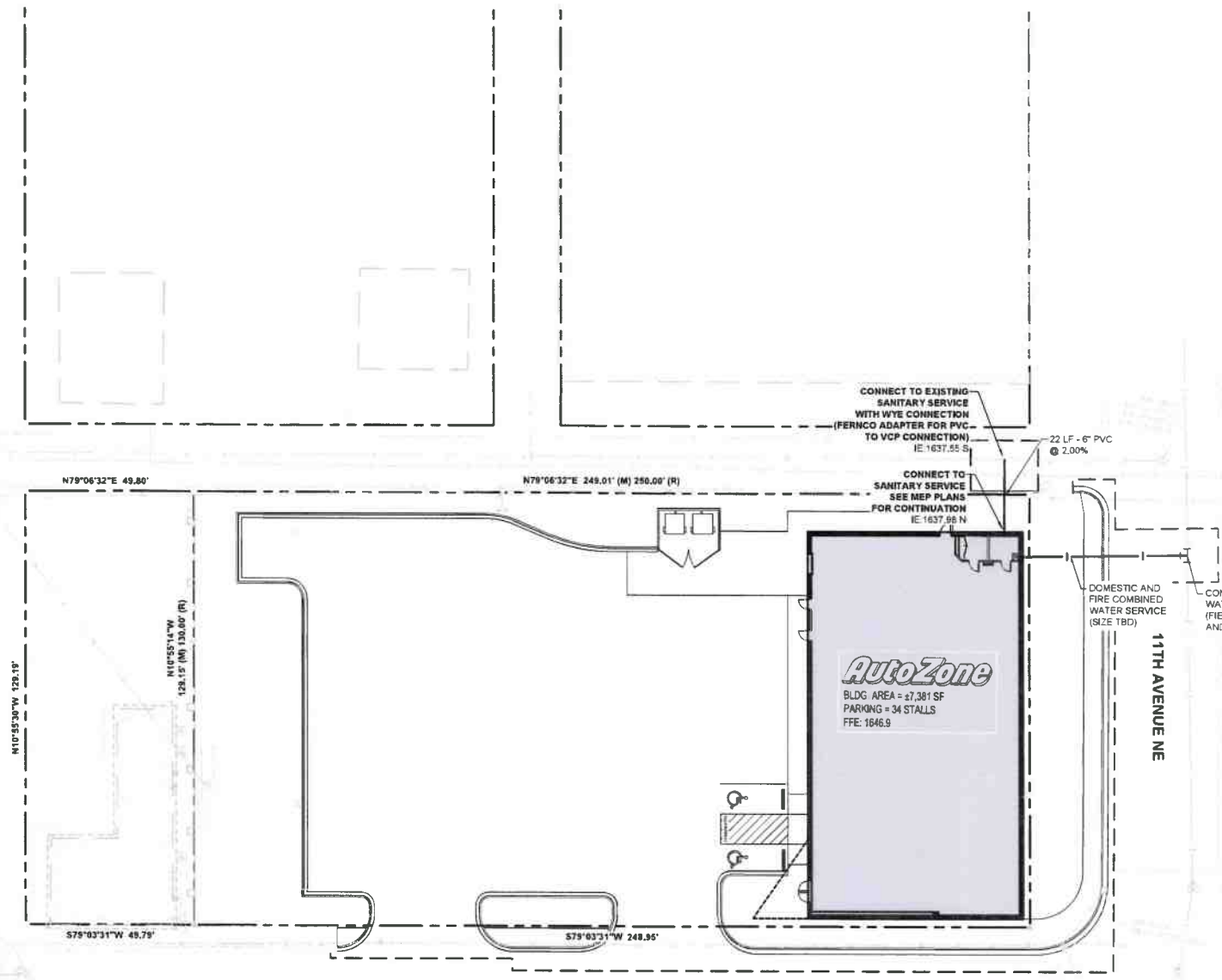
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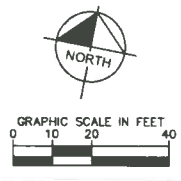
KHA PROJECT 160147002	DATE 06/19/2024	SCALE AS SHOWN	DESIGNED BY ALC	DRAWN BY JMERH	CHECKED BY ALC
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10TH AVENUE NE



E MAIN STREET



LEGEND	
EXISTING	PROPOSED

- UTILITY PLAN NOTES**
1. INSTALL UTILITIES IN ACCORDANCE WITH APPLICABLE CITY SPECIFICATIONS, STATE PLUMBING CODE, AND BUILDING PERMIT REQUIREMENTS.
 2. CONTACT STATE 811 CALL-BEFORE-YOU-DIG LOCATING SERVICE AT LEAST TWO WORKING DAYS PRIOR TO EXCAVATION FOR UNDERGROUND UTILITY LOCATIONS.
 3. CONTRACTOR IS RESPONSIBLE FOR ALL HORIZONTAL AND VERTICAL CONTROL.
 4. SANITARY SEWER PIPE SHALL BE:
PVC: ASTM D-2726, D-3034
PVC SCH 40: ASTM D-1785, F-714, F-884
SANITARY SEWER FITTINGS SHALL BE:
PVC: ASTM D-2726, D-3034
PVC SCH40: ASTM D-2685, F-794, F-1886
 5. WATER MAIN PIPE SHALL BE:
PVC: ASTM D-1785, D-2241, AWWA C-900
DUCTILE IRON: AWWA C115
WATER MAIN FITTINGS SHALL BE:
PVC: ASTM D-2444, D-2446, D-2467, F-1970 AWWA C-807
DUCTILE IRON: AWWA C-153, C-110, ASME 318.4
 5. STORM SEWER PIPE SHALL BE:
RCP: ASTM C-76
HDPE: ASTM F-714, F-884
PVC: ASTM D-2726
PVC SCH40: ASTM D-1785, D-2685, F-794
DRAIN TILE SHALL BE:
PE: ASTM F-6667
PVC: ASTM D-2726
STORM SEWER FITTINGS SHALL BE:
RCP: ASTM C-76, JOINTS PER ASTM C-361, C-860, AND C-443
HDPE: ASTM D-3212
PVC: ASTM D-2726, JOINTS PER ASTM D-3212
PVC SCH40: ASTM D-2685, F-794, F-1886
 6. WHEN CONNECTING TO AN EXISTING UTILITY LINE, FIELD VERIFY THE LOCATION, DEPTH, AND SIZE OF THE EXISTING PIPE(S). PRIOR TO INSTALLATION OF THE NEW LINES, NOTIFY THE PROJECT ENGINEER OF ANY DISCREPANCIES OR VARIATIONS IMPACTING THE PROPOSED DESIGN OF THE PROJECT.
 7. PLACE AND COMPACT ALL FILL MATERIAL PRIOR TO INSTALLATION OF PROPOSED UNDERGROUND UTILITIES. MINIMUM TRENCH WIDTH SHALL BE 2 FEET.
 8. MAINTAIN A MINIMUM OF 7'-6" COVER ON ALL WATER LINES.
 8. FOR WATER LINES AND STUB-OUTS UTILIZE MECHANICAL JOINTS WITH RESTRAINTS SUCH AS THRUST BLOCKING, WITH STAINLESS STEEL OR COBALT BLUE BOLTS, OR AS INDICATED IN THE CITY SPECIFICATIONS AND PROJECT DOCUMENTS.
 10. MAINTAIN 18-INCH MINIMUM VERTICAL SEPARATION WHERE SEWER PIPE CROSSES WATER LINES (OUTSIDE EDGE OF PIPE TO OUTSIDE EDGE OF PIPE OR STRUCTURE). PROVIDE 18-FOOT HORIZONTAL SEPARATION BETWEEN SEWER PIPE AND WATER LINES.
 11. IN THE EVENT OF A VERTICAL CONFLICT BETWEEN WATER LINES, SANITARY LINES, STORM LINES AND GAS LINES (OR ANY OBSTRUCTION EXISTING AND PROPOSED), THE SANITARY PIPE MATERIAL SHALL BE PVC, SCHEDULE 40 OR PVC C900 AND HAVE MECHANICAL JOINTS AT LEAST 10 FEET ON EITHER SIDE OF THE CENTER LINE OF THE CROSSING. THE WATER LINE SHALL HAVE MECHANICAL JOINTS WITH APPROPRIATE FASTENERS AS REQUIRED TO PROVIDE A MINIMUM OF 18-INCH VERTICAL SEPARATION MEETING REQUIREMENTS OF ANSI A21.10 OR ANSI 21.11 (AWWA C-151) (CLASS 50).
 12. ALL PVC & HDPE SEWER AND WATER PIPE SHALL HAVE A TRACER WIRE INSTALLED IN THE TRENCH AND TERMINATED PER THE DETAILS.
 13. UNDERGROUND UTILITY LINES SHALL BE INSTALLED, INSPECTED AND APPROVED PRIOR TO PLACING BACKFILL.
 14. IN PAVEMENT AREAS, RAISE MANHOLE CASTINGS TO BE FLUSH WITH PROPOSED FINISHED SURFACE GRADE. IN GREEN AREAS, RAISE MANHOLE CASTINGS TO BE ONE FOOT ABOVE FINISHED GROUND ELEVATION & INSTALL A WATERTIGHT LID.
 15. REFER TO PLUMBING PLANS FOR LOCATION, SIZE AND ELEVATION OF UTILITY SERVICE CONNECTIONS AND ROOF DRAINS TO THE INTERIOR BUILDING SYSTEMS. BACKFLOW DEVICES (DDOV AND PRZ ASSEMBLIES) & METERS ARE LOCATED INSIDE THE BUILDING.
 18. CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
 17. CONTRACTOR IS RESPONSIBLE FOR ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES. COORDINATE WITH ALL UTILITY COMPANIES FOR INSTALLATION REQUIREMENTS AND SPECIFICATIONS.
 16. REFER TO THE SITE ELECTRICAL PLANS FOR SPECIFICATIONS OF THE PROPOSED SITE LIGHTING AND ELECTRICAL EQUIPMENT.
 19. EXCAVATE DRAINAGE TRENCHES TO FOLLOW PROPOSED STORM SEWER ALIGNMENTS. REFER TO THE UTILITY PLANS FOR LAYOUT AND ELEVATIONS FOR PROPOSED SANITARY SEWER, WATER MAIN, AND OTHER BUILDING UTILITY SERVICE CONNECTIONS. REFER TO THE GRADING PLAN FOR DETAILED SURFACE ELEVATIONS.
 20. EXCESS MATERIAL, ABANDONED UTILITY ITEMS, AND OTHER UNUSABLE MATERIALS SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE DISPOSED OF OFF THE CONSTRUCTION SITE.
 21. COORDINATE WITH THE PLUMBING PLANS FOR THE LOCATION, SIZE AND ELEVATION OF THE PROPOSED UNDERGROUND ROOF DRAIN CONNECTIONS.
 22. WHERE STORM SEWER ROOF DRAINS HAVE LESS THAN 4'-FEET OF COVER IN PAVED AREAS OR 3'-FEET OF COVER IN LANDSCAPE AREAS, PROVIDE 3-INCH THICK INSULATION A MINIMUM OF 5'-FEET IN WIDTH, CENTERED ON THE PIPE.
 23. ALL STORM SEWER PIPE JOINTS SHALL BE WATER-TIGHT CONNECTIONS.
 24. ALL STORM SEWER PIPE CONNECTIONS TO MANHOLES SHALL BE GASKETED AND WATER TIGHT. BOOTED COUPLERS AT THE STRUCTURE OR A WATER STOP WITH NON-SHRINK GROUT MAY BE USED IN ACCORDANCE WITH LOCAL CODES.
 25. CONTRACTOR SHALL AIR TEST ALL STORM SEWER PIPE IN ACCORDANCE WITH LOCAL CODE REQUIREMENTS.

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2023 KIMLEY-HORN AND ASSOCIATES, INC.
767 EUSTIS STREET, SUITE 100, ST. PAUL, MN 55114
WWW.KIMLEY-HORN.COM

UTILITY PLAN

AUTOZONE
1120 E MAIN ST
PREPARED FOR
ZAREMBA GROUP

SHEET NUMBER
C600

REVISIONS		DATE	BY
No.			

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PLANT SCHEDULE

SYMBOL	CODE	QTY	COMMON NAME	BOTANICAL NAME	CONTAINER	CAL.
OVERSTORY TREE						
	BRO	1	BUR OAK	QUERCUS MACROCARPA	B & B	2.5" CAL.
	HCK	1	COMMON HACKBERRY	CELTIS OCCIDENTALIS	B & B	2.5" CAL.
	MSA	2	MOUNTAIN SENTINEL® QUAKING ASPEN	POPULUS TREMULOIDES 'IFS-COLUMN'	B & B	1.5" CAL.
PERENNIALS AND GRASSES						
	BES	21	BLACK-EYED SUSAN	RUDBECKIA FULGIDA 'GOLDSTURM'	#1 CONT.	18" O.C.
	SWG	46	SHENANDOAH SWITCH GRASS	PANICUM VIRGATUM 'SHENANDOAH'	#2 CONT.	24" O.C.
CONIFEROUS SHRUBS						
	SGJ	17	SEA GREEN JUNIPER	JUNIPERUS CHINENSIS 'SEA GREEN'	#5 CONT.	5' O.C.
DECIDUOUS SHRUBS						
	RGR	5	RUGOSA ROSE	ROSA RUGOSA	#5 CONT.	4' O.C.
PERENNIALS						
	RD	35	RED RAZZMATAZZ DAYLILY	HEMEROCALLIS 'RED RAZZMATAZZ'	#1 CONT.	20" O.C.

LANDSCAPE SUMMARY

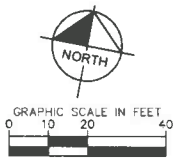
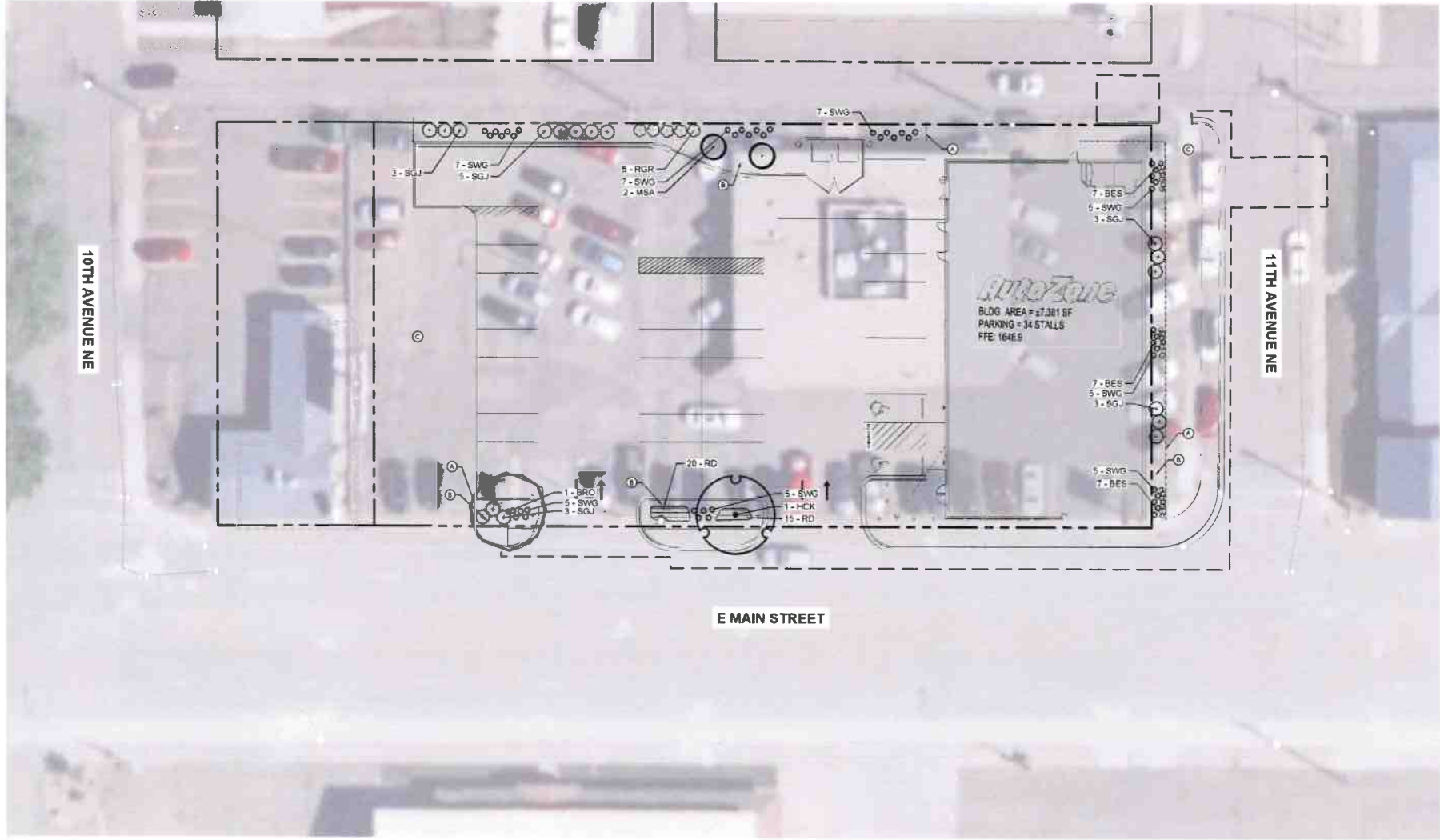
LANDSCAPE REQUIREMENTS
PARKING PERIMETER REQUIREMENTS:
PARKING PERIMETER PROVIDED: SHRUBS AND GRASSES TO BUFFER PARKING
SEE PLAN

LANDSCAPE LEGEND

-  EXISTING DECIDUOUS TREE (TYP.)
-  EXISTING CONIFEROUS TREE (TYP.)
-  EXISTING SHRUB (TYP.)
-  EDGER (TYP.)
-  APPROXIMATE LIMITS OF SEEDING/ SEEDING ALL DISTURBED AREAS (TYP.)

LANDSCAPE KEYNOTES

- Ⓐ EDGER (TYP.)
- Ⓑ ROCK MULCH (TYP.)
- Ⓒ SOD (TYP.)



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AUTOZONE 1120 E

MAIN ST

PREPARED FOR

ZAREMBA GROUP

MANDAN

LANDSCAPE PLAN

SHA PROJECT	160147002
DATE	06/19/2024
SCALE	AS SHOWN
DESIGNED BY	CFK
DRAWN BY	CFK
CHECKED BY	TMH

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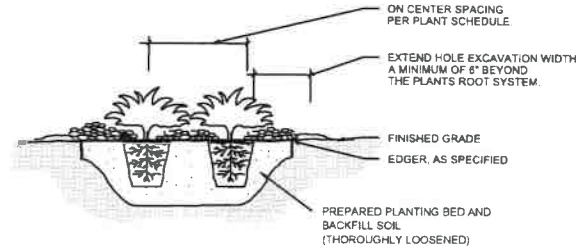
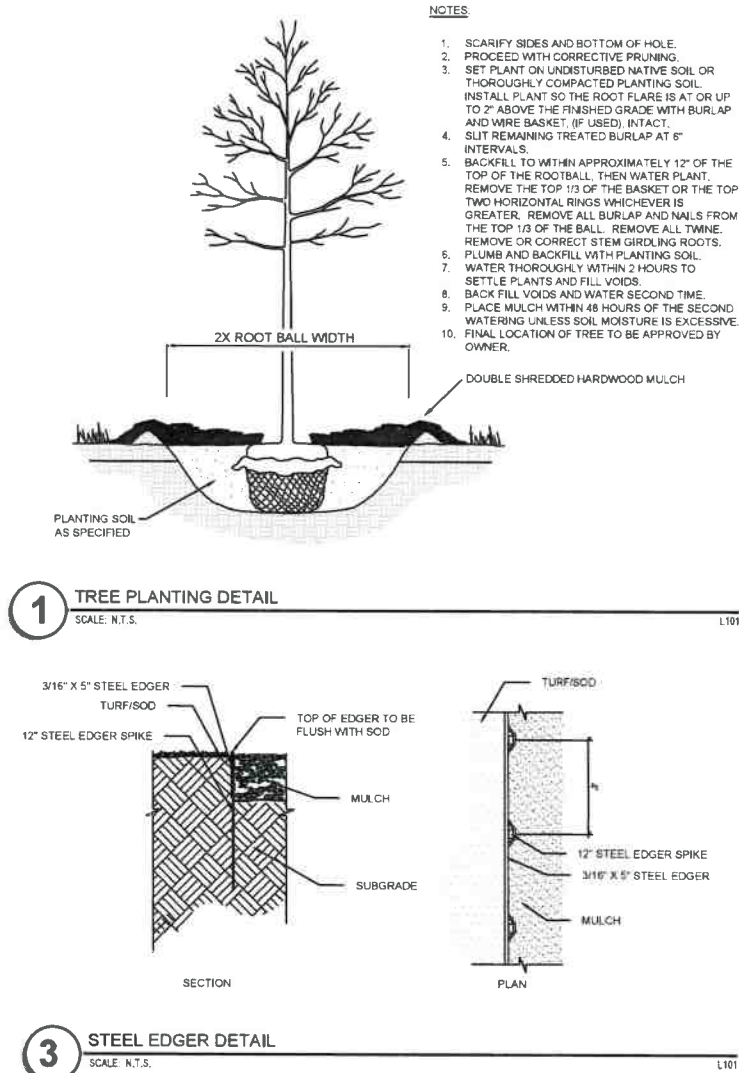
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SHEET NUMBER
L100

K:\TWC_LDEV\Zarembe Group\Autozone - Mandan NDS Design\CAD\PlanSheets\L-LANDSCAPE DETAILS.DWG June 19, 2024 - 11:27am

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- NOTES**
1. SCARIFY SIDES AND BOTTOM OF HOLE.
 2. PROCEED WITH CORRECTIVE PRUNING OF TOP AND ROOT.
 3. REMOVE CONTAINER AND SCORE OUTSIDE OF SOIL MASS TO REDIRECT AND PREVENT CIRCLING FIBROUS ROOTS. REMOVE OR CORRECT STEM GIRDLING ROOTS.
 4. PLUMB AND BACKFILL WITH PLANTING SOIL.
 5. WATER THOROUGHLY WITHIN 2 HOURS TO SETTLE PLANTS AND FILL VOIDS.
 6. BACK FILL VOIDS AND WATER SECOND TIME.
 7. PLACE MULCH WITHIN 48 HOURS OF THE SECOND WATERING UNLESS SOIL MOISTURE IS EXCESSIVE.
 8. MIX IN 3-4" OF ORGANIC COMPOST.

LANDSCAPE NOTES

PLANTING

1. CONTACT COMMON GROUND ALLIANCE AT 811 OR CALL 811.COM TO VERIFY LOCATIONS OF ALL UNDERGROUND UTILITIES PRIOR TO INSTALLATION OF ANY PLANTS OR LANDSCAPE MATERIAL.
2. ACTUAL LOCATION OF PLANT MATERIAL IS SUBJECT TO FIELD AND SITE CONDITIONS.
3. NO PLANTING WILL BE INSTALLED UNTIL ALL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA.
4. ALL SUBSTITUTIONS MUST BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO SUBMISSION OF ANY BID AND/OR QUOTE BY THE LANDSCAPE CONTRACTOR.
5. PROVIDE TWO YEAR GUARANTEE OF ALL PLANT MATERIALS. THE GUARANTEE BEGINS ON THE DATE OF THE LANDSCAPE ARCHITECT'S OR OWNER'S WRITTEN ACCEPTANCE OF THE INITIAL PLANTING. REPLACEMENT PLANT MATERIAL SHALL HAVE A ONE-YEAR GUARANTEE COMMENCING UPON PLANTING.
6. ALL PLANTS TO BE SPECIMEN GRADE, NORTH DAKOTA-GROWN AND/OR HARDY. SPECIMEN GRADE SHALL ADHERE TO BUT IS NOT LIMITED BY THE FOLLOWING STANDARDS:
ALL PLANTS SHALL BE FREE FROM DISEASE, PESTS, WOUNDS, SCARS, ETC.
ALL PLANTS SHALL BE FREE FROM NOTICEABLE GAPS, HOLES OR DEFORMITIES.
ALL PLANTS SHALL BE FREE FROM BROKEN OR DEAD BRANCHES.
ALL PLANTS SHALL HAVE HEAVY, HEALTHY BRANCHING AND LEAVING.
CONIFEROUS TREES SHALL HAVE AN ESTABLISHED MAIN LEADER AND A HEIGHT TO WIDTH RATIO OF NO LESS THAN 5:3.
7. PLANTS TO MEET AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1-2014 OR MOST CURRENT VERSION) REQUIREMENTS FOR SIZE AND TYPE SPECIFIED.
8. PLANTS TO BE INSTALLED AS PER ANSI STANDARD PLANTING PRACTICES.
9. INSTALL PLANTS BY PLANT INSTALLATION PERIOD INFORMATION IN THE LATEST STANDARD PLANTING DETAILS FROM NDDOT. PLANTINGS BEFORE OR AFTER THESE DATES ARE DONE AT RISK.
10. PLANTS SHALL BE IMMEDIATELY PLANTED UPON ARRIVAL AT SITE. PROPERLY HEEL-IN MATERIALS IF NECESSARY; TEMPORARY ONLY.
11. PRIOR TO PLANTING, FIELD VERIFY THAT THE ROOT COLLAR/ROOT FLARE IS LOCATED AT THE TOP OF THE BALLED & BURLAP TREE. IF THIS IS NOT THE CASE, SOIL SHALL BE REMOVED DOWN TO THE ROOT COLLAR/ROOT FLARE. WHEN THE BALLED & BURLAP TREE IS PLANTED, THE ROOT COLLAR/ROOT FLARE SHALL BE EVEN OR SLIGHTLY ABOVE FINISHED GRADE.
12. OPEN TOP OF BURLAP ON BB MATERIALS; REMOVE POT ON POTTED PLANTS; SPLIT AND BREAK APART PEAT POTS.
13. PRUNE PLANTS AS NECESSARY - PER STANDARD NURSERY PRACTICE AND TO CORRECT POOR BRANCHING OF EXISTING AND PROPOSED TREES.
14. WRAP ALL SMOOTH-BARKED TREES - FASTEN TOP AND BOTTOM. REMOVE BY APRIL 1ST.
15. STAKING OF TREES AS REQUIRED; REPOSITION, PLUMB AND STAKE IF NOT PLUMB AFTER ONE YEAR.

SOIL

16. TOPSOIL SHALL BE LOCAL FERTILE AGRICULTURAL SOIL FREE OF SUBSOILS, ROCKS LARGER THAN ONE INCH, CLAYS, PLANTS, WEEDS, ROOTS AND OTHER IMPURITIES. PH VALUE TO BE BETWEEN 6.4 AND 7.0. REMOVE DEBRIS AND WEEDS FROM SUBSOIL. MINIMUM 4" DEPTH TOPSOIL FOR ALL LAWN GRASS AREAS AND 12" DEPTH TOPSOIL FOR TREES, SHRUBS AND PERENNIALS. LIGHTLY COMPACT TOPSOIL AFTER PLACEMENT AND PROHIBIT CONSTRUCTION TRAFFIC FROM AREAS WITH TOPSOIL.

17. THE NEED FOR SOIL AMENDMENTS SHALL BE DETERMINED UPON SITE SOIL CONDITIONS PRIOR TO PLANTING. LANDSCAPE CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT FOR THE NEED OF ANY SOIL AMENDMENTS.

MULCH

18. MULCH TO BE AT ALL TREE, SHRUB, PERENNIAL AND MAINTENANCE AREAS. TREE AND SHRUB PLANTING BEDS SHALL HAVE 4" DEPTH ROCK MULCH. DOUBLE SHREDDED ROCK MULCH TO BE USED AROUND ALL PLANTS WITHIN TURF AREAS. PERENNIAL AND ORNAMENTAL GRASS BEDS SHALL HAVE 2" DEPTH DOUBLE SHREDDED ROCK MULCH. ROCK MULCH TO BE RIVER ROCK, 1-1/2" TO 3" DIAMETER, AT MINIMUM 3" DEPTH, OR APPROVED EQUAL. APPLY PREEMERGENT HERBICIDE PRIOR TO MULCH PLACEMENT PER MANUFACTURER RECOMMENDATIONS. USE PREEN OR PRE-APPROVED EQUAL ROCK MULCH TO BE ON COMMERCIAL GRADE FILTER FABRIC, BY TYPICAL OR APPROVED EQUAL WITH NO EXPOSURE. MULCH AND FABRIC TO BE APPROVED BY OWNER PRIOR TO INSTALLATION. MULCH TO MATCH EXISTING CONDITIONS (WHERE APPLICABLE).

EDGER

19. EDGING TO BE COMMERCIAL GRADE COL-MET (OR EQUAL) STEEL EDGING, 3/16" THICK x 5" TALL, COLOR BLACK, OR SPADED EDGE, AS INDICATED. STEEL EDGING SHALL BE PLACED WITH SMOOTH CURVES AND STAKED WITH METAL SPIKES NO GREATER THAN 4 FOOT ON CENTER WITH TOP OF EDGER AT GRADE. FOR MOWERS TO CUT ABOVE WITHOUT DAMAGE. UTILIZE CURBS AND SIDEWALKS FOR EDGING WHERE POSSIBLE. WHERE EDGING TERMINATES AT A SIDEWALK, BEVEL OR RECESS ENDS TO PREVENT TRIP HAZARD. SPADED EDGE TO PROVIDE V-SHAPED DEPTH AND WIDTH TO CREATE SEPARATION BETWEEN MULCH AND GRASS. INDIVIDUAL TREE, SHRUB, OR RAIN-GARDEN BEDS TO BE SPADED EDGE, UNLESS NOTED OTHERWISE. EDGING TO MATCH EXISTING CONDITIONS (WHERE APPLICABLE).

SEED

20. ALL DISTURBED AREAS TO BE SEEDED, UNLESS OTHERWISE NOTED. ALL TOPSOIL AREAS TO BE RAKED TO REMOVE DEBRIS AND ENSURE DRAINAGE. SEED AS SPECIFIED. PER NDDOT SPECIFICATIONS AND SUPPLIER/MANUFACTURER RECOMMENDATIONS. SEE EROSION CONTROL PLAN FOR REFERENCE.

ESTABLISHMENT

21. PROVIDE NECESSARY WATERING OF PLANT MATERIALS UNTIL THE PLANT IS FULLY ESTABLISHED. OWNER WILL NOT PROVIDE WATER FOR CONTRACTOR.
22. REPAIR, REPLACE, OR PROVIDE SEED AS REQUIRED FOR ANY ROADWAY BOULEVARD AREAS ADJACENT TO THE SITE DISTURBED DURING CONSTRUCTION.
23. IRRIGATION SYSTEM NOT PROPOSED.

WARRANTY

24. REPAIR ALL DAMAGE TO PROPERTY FROM PLANTING OPERATIONS AT NO COST TO OWNER.
25. MAINTAIN TREES, SHRUBS, SEED AND OTHER PLANTS UNTIL PROJECT COMPLETION, BUT IN NO CASE LESS THAN FOLLOWING PERIOD; 1 YEAR AFTER PROJECT COMPLETION. MAINTAIN TREES, SHRUBS, SEED AND OTHER PLANTS BY PRUNING, CULTIVATING AND WEEDING AS REQUIRED FOR HEALTHY GROWTH. RESTORE PLANTING SAUCERS. TIGHTEN AND REPAIR STAKES AND GUY SUPPORTS AND RESET TREES AND SHRUBS TO PROPER GRADES OR VERTICAL PORTION AS REQUIRED. RESTORE OR REPLACE DAMAGED WRAPPINGS. SPRAY AS REQUIRED TO KEEP TREES AND SHRUBS FREE OF INSECTS AND DISEASE. REPLENISH MULCH TO THE REQUIRED DEPTH MAINTAIN LAWNS FOR 60 DAYS AFTER INSTALLING SOD INCLUDING MOWING WHEN SOD RECIPIES 4" IN HEIGHT. WEED PLANTING BEDS AND MULCH SAUCERS AT MINIMUM ONCE A MONTH DURING THE GROWING SEASON. PROVIDE A MONTHLY REPORT TO THE OWNER ON WEEDING AND OTHER MAINTENANCE RESPONSIBILITIES.

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AUTOZONE
1120 E MAIN ST
PREPARED FOR

ZAREMBA GROUP

MANDAN

LANDSCAPE
DETAILS

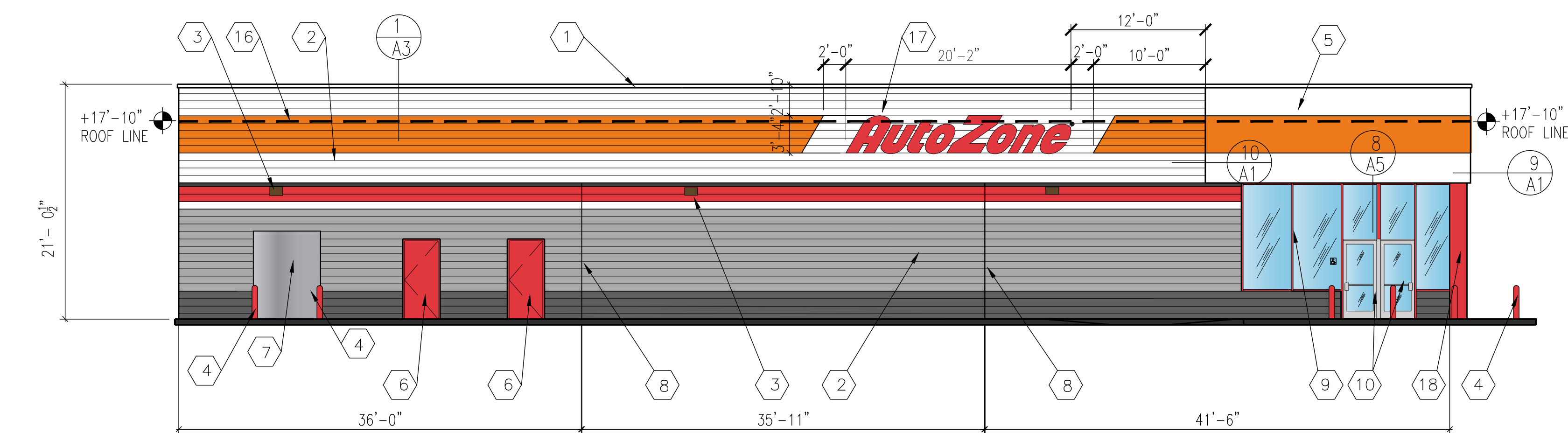
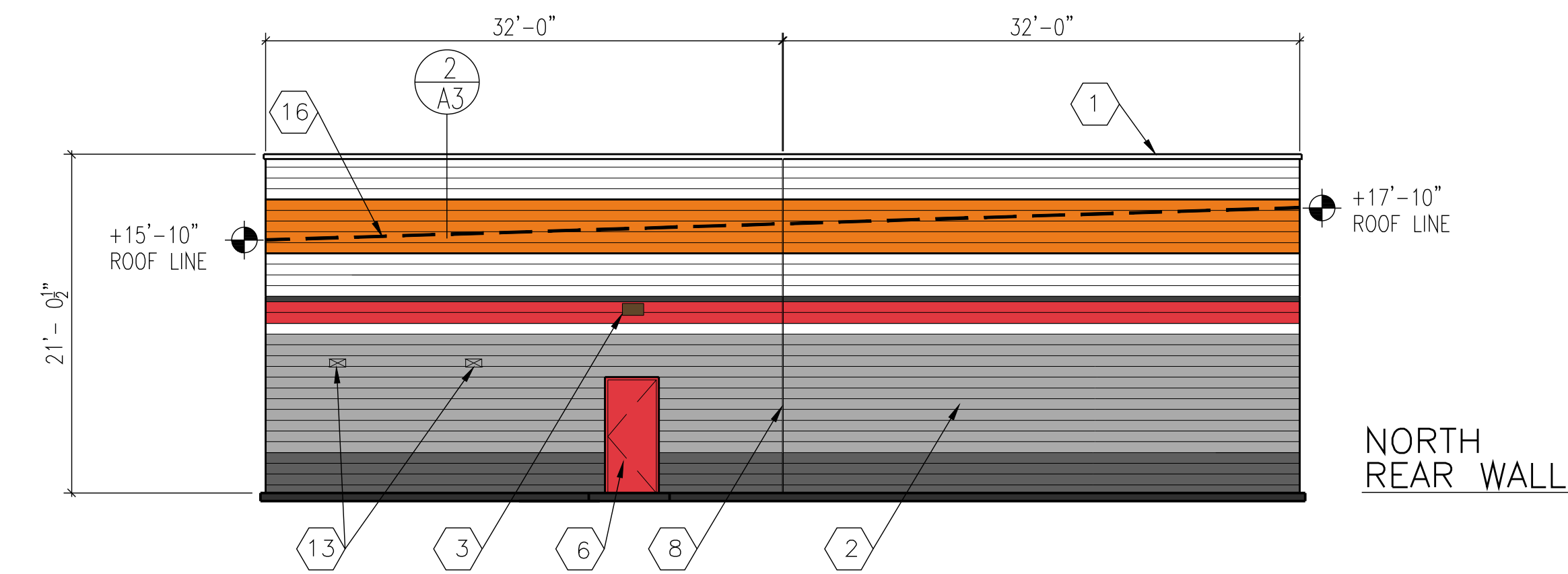
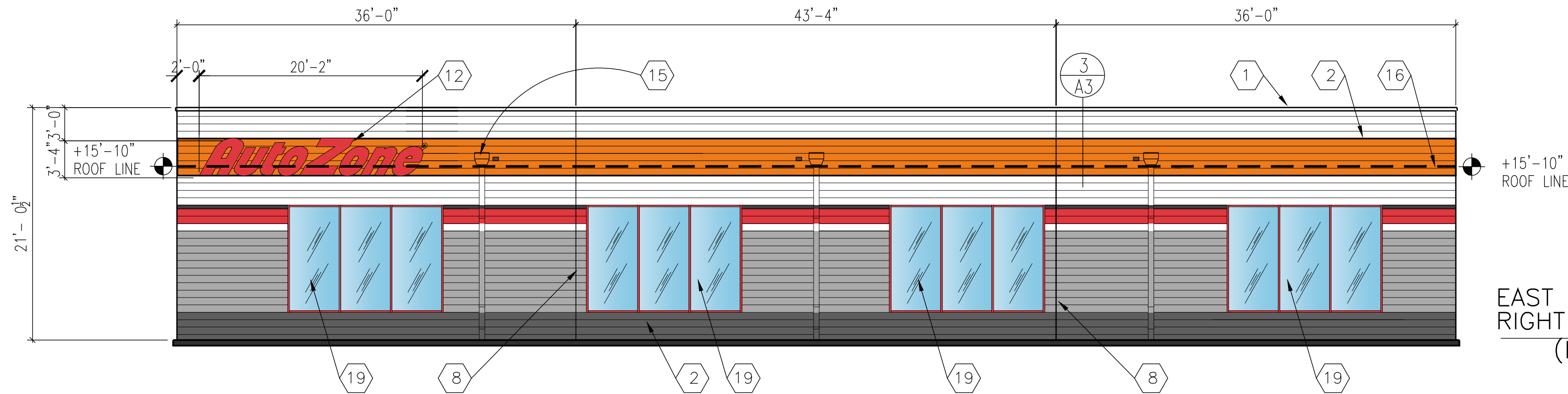
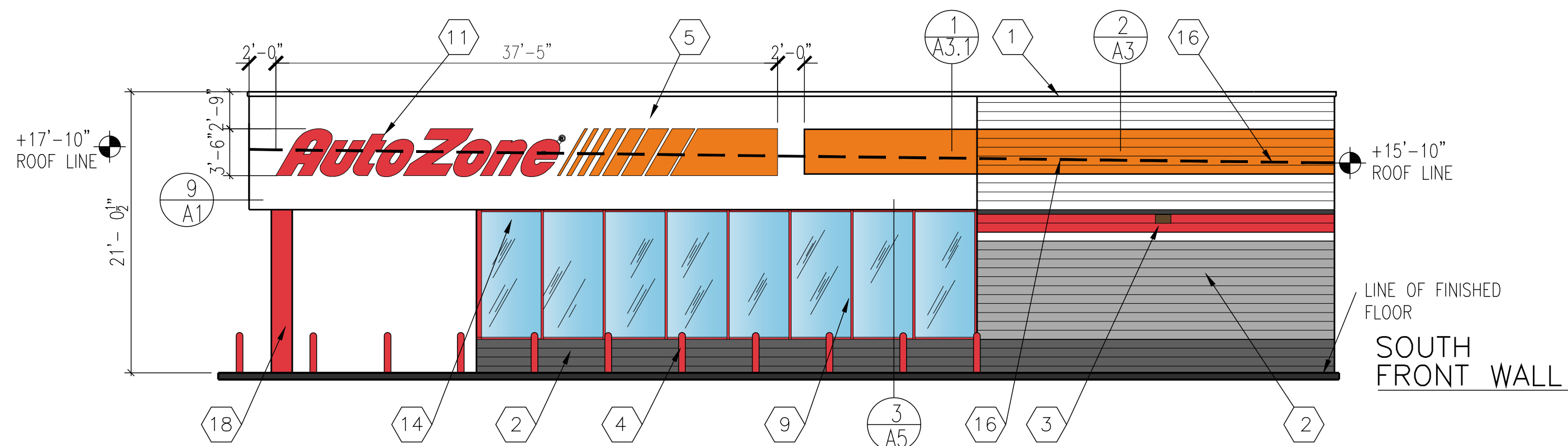
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PKA PROJECT
106147002
DATE
06/19/2024
SCALE
AS SHOWN
DESIGNED BY
PKA
CHECKED BY
RMH

SHEET NUMBER
L101

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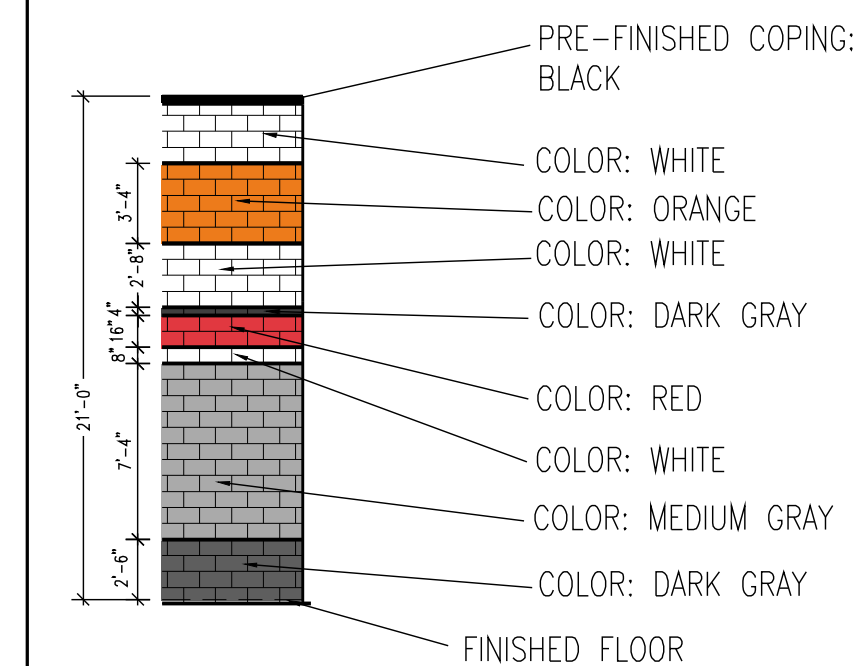


- 1 TWO PIECE COMPRESSION TRIM SEE DETAIL 4/A6
- 2 SPLIT FACE CONCRETE MASONRY UNIT, INTERNALLY COLORED: SEE COLOR DETAIL SCHEME THIS SHEET
- 3 WALL MOUNTED LIGHT FIXTURE
- 4 PIPE GUARD WITH RED SLEEVE
- 5 MFG. WHITE EXTERIOR INSULATED FINISH - PAINT WHITE
- 6 PAINT MAN DOOR RED & METAL FRAMES BLACK
- 7 DO NOT PAINT OVERHEAD DOOR PAINT ANGLES BLACK
- 8 EXPANSION JOINT
- 9 ALUMINUM STOREFRONT - RED KYNAR FINISH
- 10 GLASS AND ALUMINUM DOORS - CLEAR ANODIZED FINISH
- 11 FRONT WALL SIGN - 42" TALL LETTERS
- 12 RIGHT SIDE WALL SIGN - 40" TALL LETTERS
- 13 TOILET WALL VENTS PAINT TO MATCH WALL
- 14 STORE ADDRESS - 6" WHITE REFLECTIVE NUMBERS
- 15 SCUPPERS AND DOWNSPOUTS. PAINTED TO MATCH BACKGROUND WALL COLOR. ADJACENT 4" H. X 6" W. OVERFLOW SCUPPER. FLOWLINE 2" ABOVE ROOF.
- 16 ROOF LINE SEE STRUCTURAL DRAWINGS FOR DETAILS
- 17 LEFT SIDE WALL SIGN - 40" TALL LETTERS
- 18 CORRUGATED COLUMN PAINT RED
- 19 FAUX WINDOW - OPAQUE BLACK GLASS

1/8" = 1'-0" AAWN01N

2 ELEVATION KEY NOTES

NOTE: CENTER ALL WALL SIGNAGE VERTICALLY ON THE PAINTED ORANGE STRIPE OR THE TOP TWO BRICK SOLDIER COURSES. PAINT ORANGE STRIPE TO WITHIN 2' OF WALL SIGN. DO NOT PAINT ORANGE STRIPE BEHIND SIGN. CONTINUE ORANGE STRIPE ON E.I.F.S. ABOVE STOREFRONT.



1/8" = 1'-0" AWE01

3 EXTERIOR WALL COLOR SCHEME

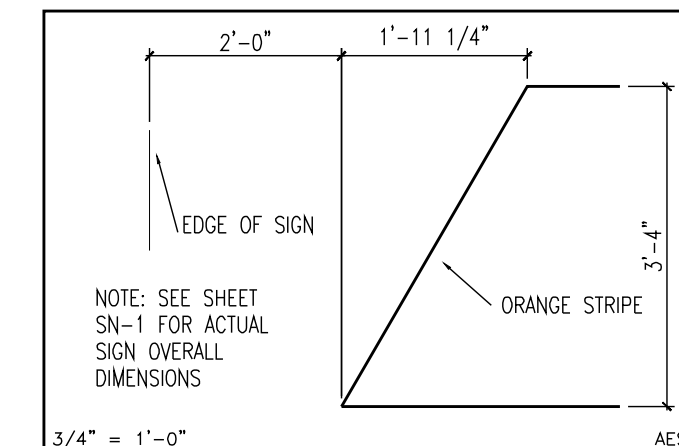
- GENERAL NOTES:
1. REFER TO SECTION 09900 OF THE SPECIFICATIONS FOR PAINT AND EXTERIOR COATINGS. ALL COLORS ARE BY SHERWIN-WILLIAMS PAINT COMPANY.
 2. PAINT RESTROOM WALL VENTS TO MATCH THE ADJACENT WALL COLOR.
 3. SEALANT AT EXPANSION JOINTS TO MATCH ADJACENT WALL COLOR.
 4. ALL MASONRY JOINTS TO BE CONCAVE TOOLED.

4 GENERAL NOTES

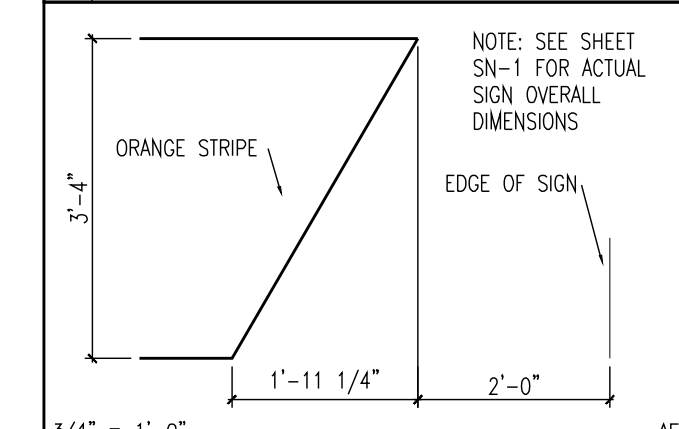
- SIGNAGE NOTES:
1. AUTOZONE'S SIGN VENDOR WILL FURNISH AND INSTALL ALL SIGNS UNLESS OTHERWISE SPECIFICALLY NOTED ON THE DRAWINGS. WALL SIGNS TO BE INSTALLED ON SURFACES THAT ARE FURNISHED AND PREPARED BY GENERAL CONTRACTOR.
 2. SIGN INSTALLER SHALL OBTAIN SIGN PERMITS AND INSTALL ALL FREESTANDING SIGNS AND THEIR FOUNDATIONS UNLESS NOTED OTHERWISE. GENERAL CONTRACTOR SHALL INSURE SIGN LOCATION IS TO GRADE AND SHALL MARK WHERE SIGN IS TO BE LOCATED.
 3. GENERAL CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF PRIMARY ELECTRICAL, AND FINAL ELECTRICAL HOOK-UP. SEE "SN" SHEETS FOR ADDITIONAL INFORMATION.
 4. SEE SHEET E3 FOR LOCATIONS OF J-BOXES TERMINATING EACH WALL SIGN CIRCUIT.

3/32" = 1'-0" AAWN02

5 SIGNAGE NOTES - BUILDING



3/4" = 1'-0" AES02



3/4" = 1'-0" AES01

6 ORANGE STRIPE TERMINATION

3/4" = 1'-0" AES01

7 ORANGE STRIPE TERMINATION

3/4" = 1'-0" AES02

J.B.H. = JOIST BEARING HEIGHT

REVISIONS

NO.	DESCRIPTION
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2	
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AutoZone Store No. 10059
1120 E MAIN ST

MANDAN ND 58554

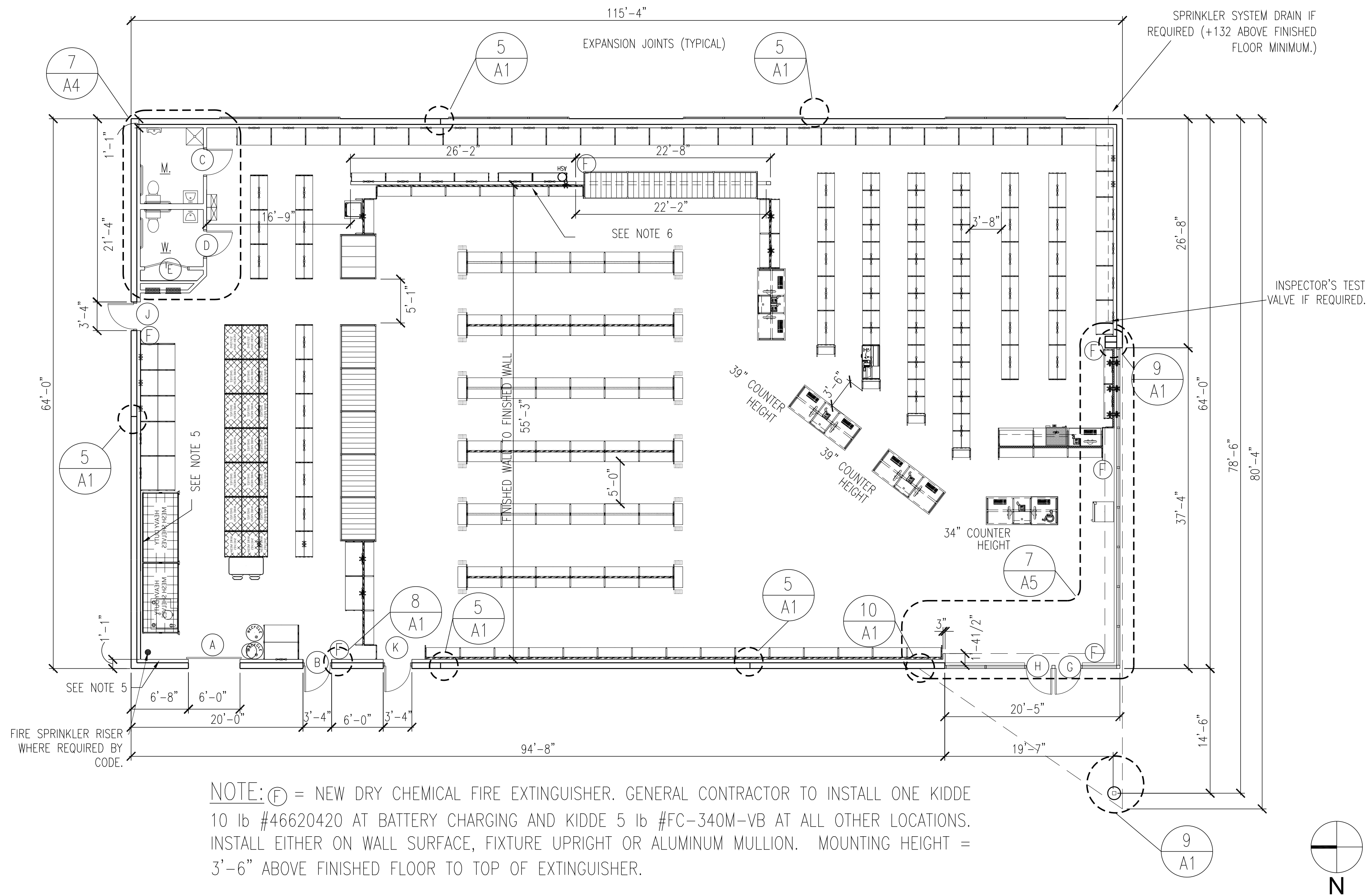
Bowen
2019 Center St, Suite 500 Cleveland, Ohio 44113
Phone: (216) 491-8300 Fax: (216) 491-8303
www.bowen.com email@bowen.com

FOR BIDDING & CONTRACTOR INFORMATION CONTACT: DODGE DATA & ANALYTICS
TEL: 1-844-326-3226 EXT. 9429 CINDY.SCARO@CONSTRUCTION.COM

TBD

7N2-R

A-2



NOTE: (F) = NEW DRY CHEMICAL FIRE EXTINGUISHER. GENERAL CONTRACTOR TO INSTALL ONE KIDDE 10 lb #46620420 AT BATTERY CHARGING AND KIDDE 5 lb #FC-340M-VB AT ALL OTHER LOCATIONS. INSTALL EITHER ON WALL SURFACE, FIXTURE UPRIGHT OR ALUMINUM MULLION. MOUNTING HEIGHT = 3'-6" ABOVE FINISHED FLOOR TO TOP OF EXTINGUISHER.

1/8" = 1'-0"

FLOOR PLAN

- REFER TO STRUCTURAL DRAWINGS FOR ALL DETAILS AND REQUIREMENTS REGARDING FOUNDATIONS, WALL REINFORCING, BOND BEAMS, LINTELS, AND ROOF FRAMING.
- REFER TO CIVIL DRAWINGS FOR LOCATIONS AND DETAILS OF SIDEWALKS, PIPE GUARDS, ETC., AS WELL AS FINISH FLOOR ELEVATION AND EXTERIOR FINISHED GRADES AROUND THE BUILDING.
- INSTALL 6" WIDE, 20 GAUGE GALVANIZED SHEET METAL STRIP BETWEEN THE BACK OF THE GYPSUM BOARD AND THE FACE OF THE METAL STUD AROUND THE ENTIRE PERIMETER OF THE BUILDING, AS WELL AS BOTH SIDES OF THE CURTAIN WALL. TOP OF STRIP TO BE 93" ABOVE FINISHED FLOOR. REFER TO SHEET A-4 FOR DETAILS OF CURTAIN WALL.
- SEE SHEET P-1 FOR LOCATION OF NON FREEZE YARD HYDRANT AND INSTALLATION REQUIREMENTS.
- INSTALL 1/2" x 4'-0" x 8'-0" AC PLYWOOD HORIZONTALLY WITH THE LONG EDGE ON THE FLOOR AND THE END JOINT CENTERING ON A STUD. APPLY PLYWOOD TO THE METAL STUDS WITH SCREWS TO FACILITATE FUTURE REPLACEMENT. PROVIDE "J" MOLD WHERE PLYWOOD AND GYPSUM BOARD MEET. SEE INTERIOR ELEVATIONS SEE 3/A4 DETAIL.
- INSTALL TWO 4' x 8' SHEETS OF BLACK FRP VERTICALLY BEHIND BATTERY RACK. SEE SECTION 09986 OF THE SPECIFICATIONS AND INTERIOR ELEVATIONS ON SHEET A-4.
- SEE SPECIFICATIONS FOR INFORMATION ON ITEMS NOT COMPLETELY DELINEATED ON THE DRAWINGS.

1/8" = 1'-0"

FLOOR PLAN NOTES

LOCATION	FLOOR		BASE		WALLS		CLG.	REM.
	SEALED CONCRETE	VINYL TILE	VINYL	QUARRY TILE	GYPSUM BOARD	FIBER REINFORCED PANELS	METAL DECK	GYPSUM BOARD
SALES AREA		●	●		●		●	
REST ROOMS	●		●			●		●

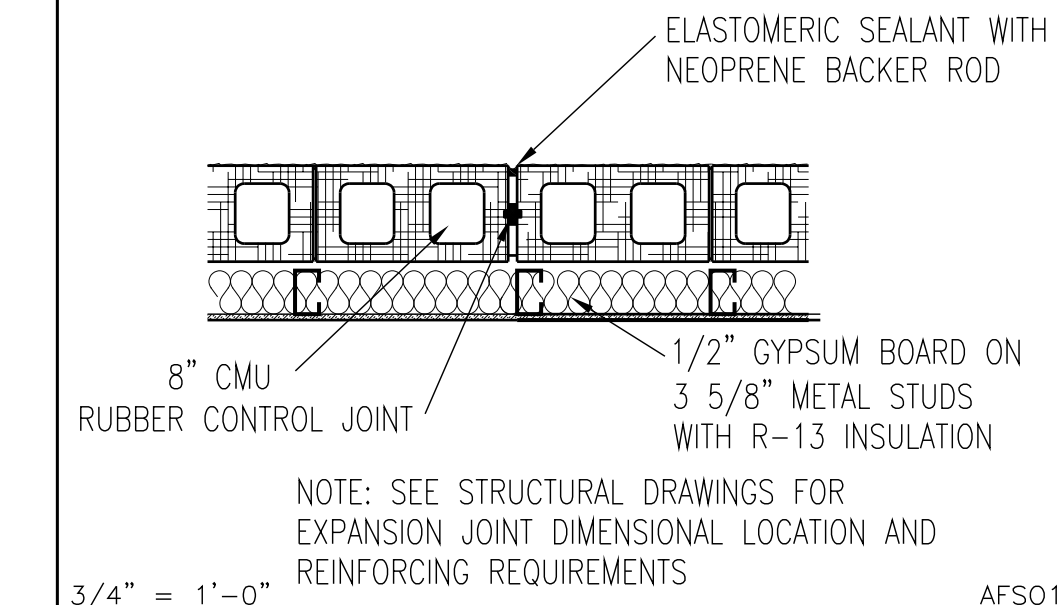
3/16" = 1'-0"

ROOM FINISH SCHEDULE

MK	SIZE	TYPE	FRAME	JAMB DETAIL	HEAD DETAIL	NOTES
A	6'-0" x 8'-0"	STEEL OVERHEAD ROLL-UP	STEEL ANGLE	8/A1	6&7/A1	
B	3'-0" x 7'-0" x 1-3/4"	HOLLOW METAL	HOLLOW METAL	8/A1	8/A1	DETEX PUSH BAR WITH INTEGRAL SOUNDER
C	3'-0" x 6'-8" x 1-3/4"	SOLID CORE WOOD UNDERCUT DOOR 1"	HOLLOW METAL	8/A1	8/A1	LEVER HANDLE PRIVACY SETS, CLOSER: LCN #P4041, PLATED FINISH US 260, CLOSER IS PARALLEL ARM AND MOUNTS ON PUSH SIDE OF DOOR
D	3'-0" x 6'-8" x 1-3/4"	SOLID CORE WOOD UNDERCUT DOOR 1"	HOLLOW METAL	8/A1	8/A1	LEVER HANDLE PRIVACY SETS, CLOSER: LCN #P4041, PLATED FINISH US 260, CLOSER IS PARALLEL ARM AND MOUNTS ON PUSH SIDE OF DOOR
E	2'-6" x 6'-8" x 1-3/4"	SOLID CORE WOOD PAIR REQUIRED	HOLLOW METAL	8/A1	8/A1	UNDERCUT DOOR 1" (PAIR REQUIRED)
G	3'-0" x 7'-0" x 1-3/4"	GLASS & ALUMINUM SEE SHEET A-5	ALUMINUM	SEE MANUFACTURER'S SHOP DRAWINGS	SEE MANUFACTURER'S SHOP DRAWINGS	SELF CLOSERS MOUNTED ON THE INSIDE OF BUILDING, CYLINDER LOCKS (KEY OPERATION EXTERIOR AND THUMB TURN INTERIOR), PUSH BARS AND PULLS, SIGN OVER EACH EXIT DOOR TO READ AS FOLLOWS "THIS DOOR TO REMAIN UNLOCKED WHEN BUILDING IS OCCUPIED" 1" HIGH WHITE LETTERS.
H	3'-0" x 7'-0" x 1-3/4"	GLASS & ALUMINUM SEE SHEET A-5	ALUMINUM	SEE MANUFACTURER'S SHOP DRAWINGS	SEE MANUFACTURER'S SHOP DRAWINGS	
J	3'-0" x 7'-0" x 1-3/4"	HOLLOW METAL	HOLLOW METAL	8/A1	8/A1	DETEX PUSH BAR WITH INTEGRAL SOUNDER

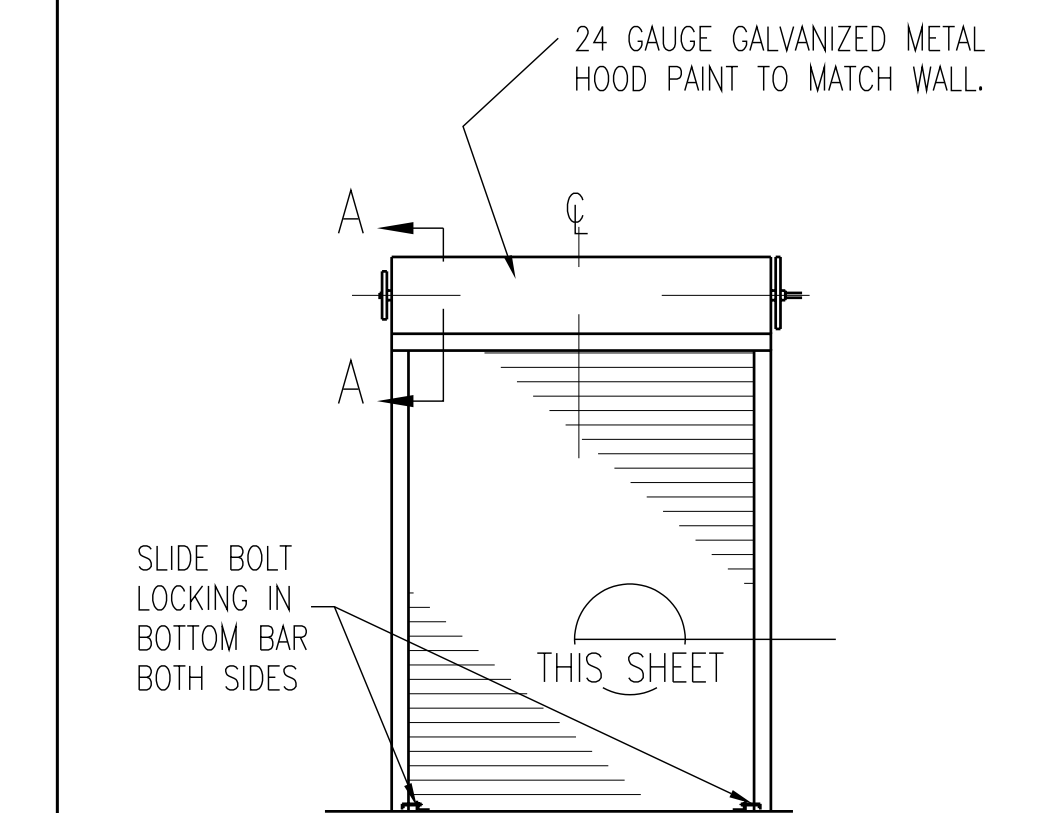
3/32" = 1'-0"

DOOR SCHEDULE - HOLLOW METAL DOORS & FRAMES



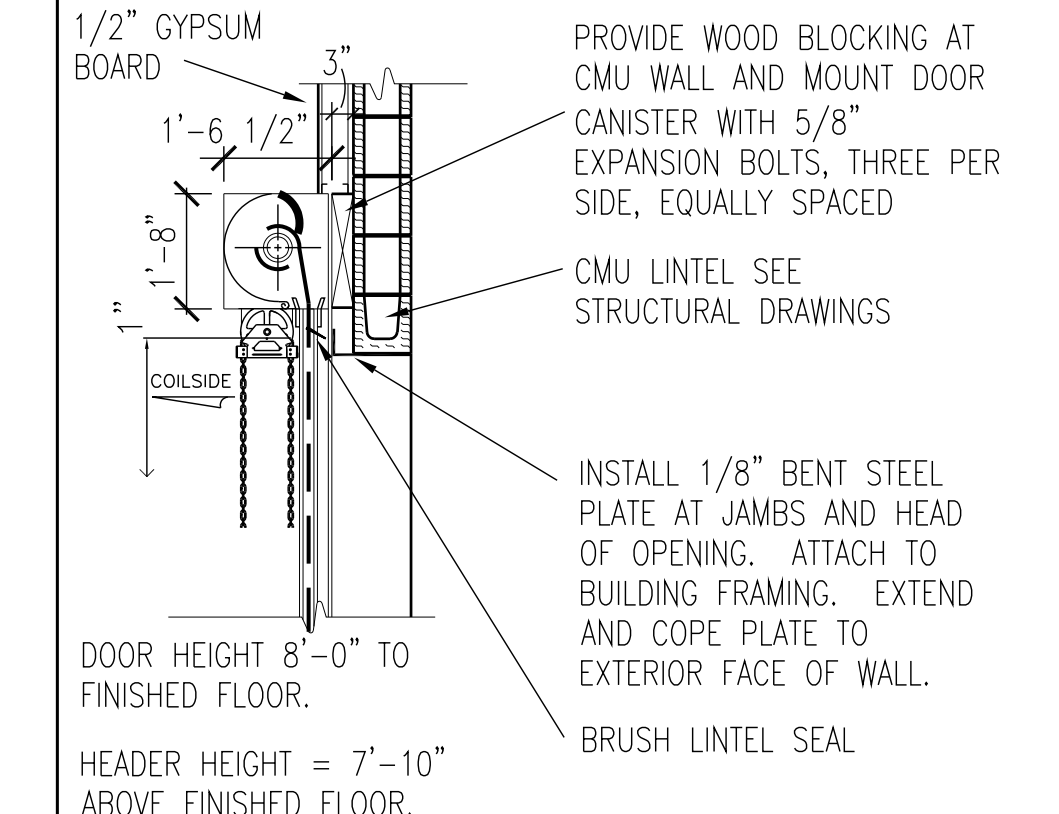
EXPANSION JOINT DETAIL

CHAIN OPERATED INSULATED DOOR SURFACE MOUNTED

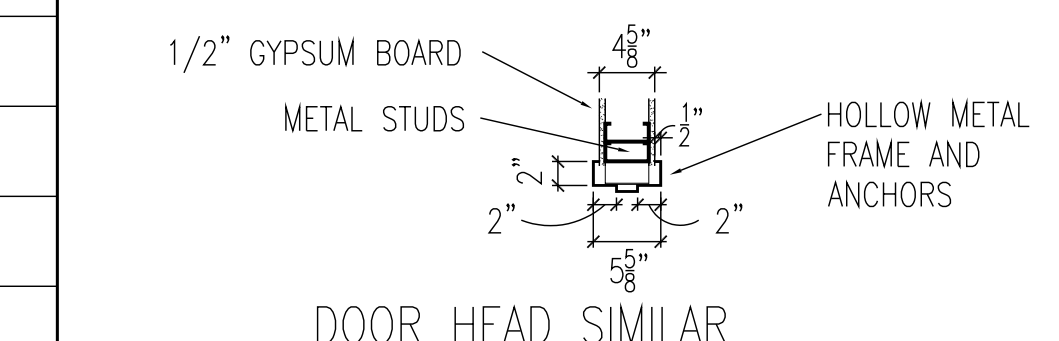
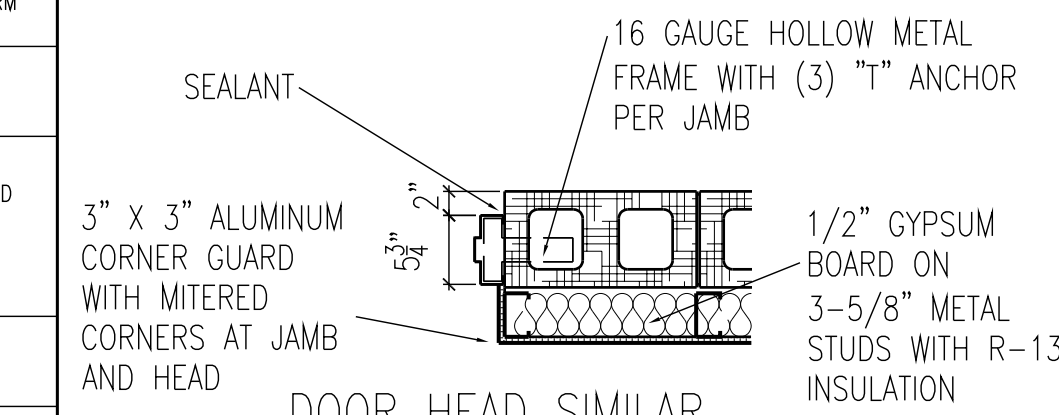
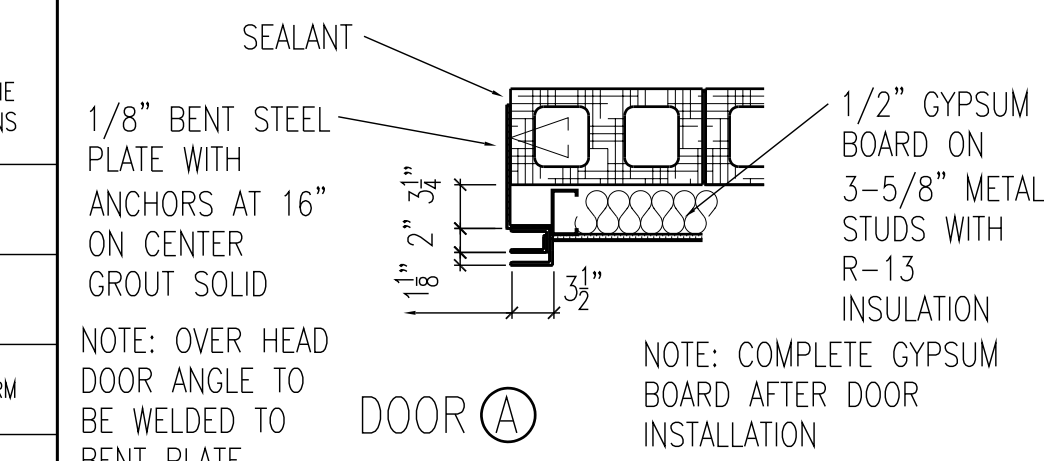


OVERHEAD DOOR ELEVATION

NOTE: GENERAL CONTRACTOR TO INSTALL 6" X 8'-0" ALUMINUM CHAIN GUARD ON WALL AT OPERATING SIDE

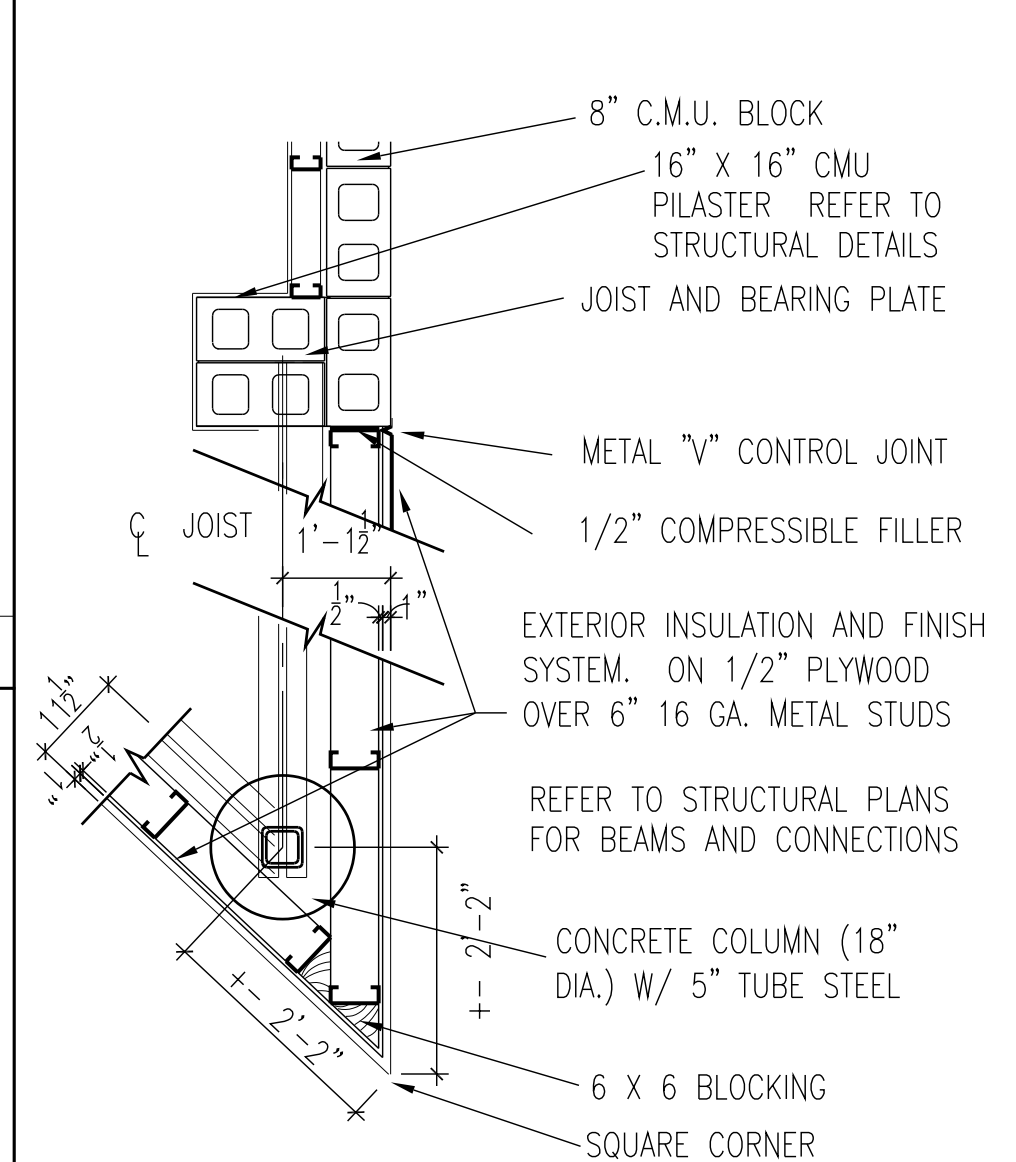


OVERHEAD DELIVERY DOOR (A)



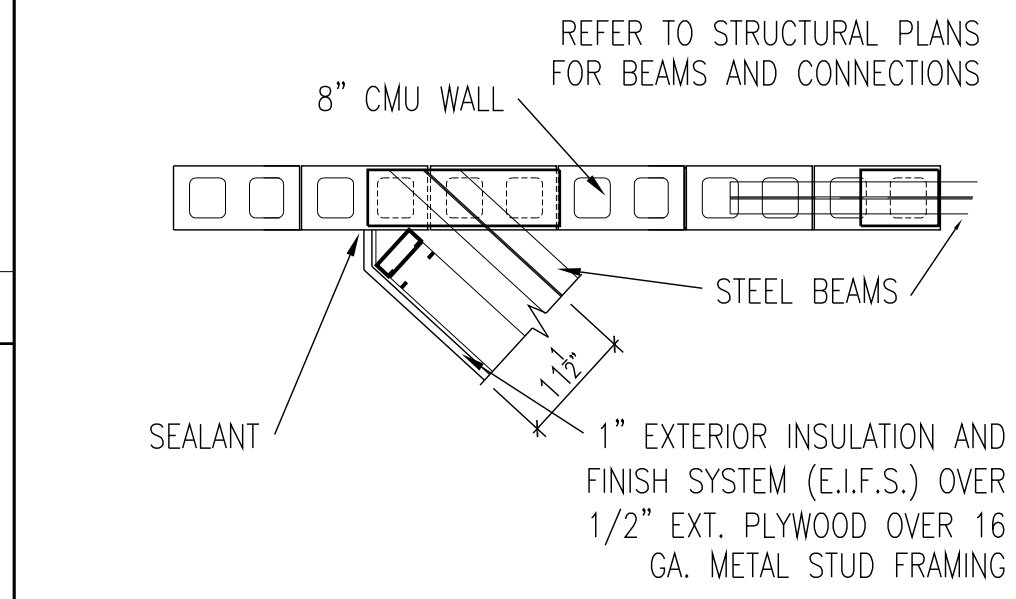
3/4" = 1'-0"

JAMB DETAILS



1/2" = 1'-0"

SECTION AT CANOPY



1/2" = 1'-0"

SECTION AT CANOPY

AutoZone Store No. 10059
1120 E MAIN ST

MANDAN ND 58554

1

2

3

4

5

6

REVISIONS

+

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TBD

7N2-R

A-1

FLOOR PLAN / DOOR SCHEDULE / WALL DETAILS



PROTOTYPICAL RENDERING

Left Elevation

Split Face Gray Color Scheme