



**ARCHITECTURAL REVIEW
COMMISSION AGENDA
JULY 23, 2024
VETERAN'S CONFERENCE ROOM
CITY HALL, 205 SECOND AVENUE NW
1:00 PM
WWW.CITYOFMANDAN.COM**

*The public may access the Zoom meeting online at:
Join Zoom Meeting*

<https://us06web.zoom.us/j/82025451064?pwd=JblUBhHGpDQJmOKUhRLH8pinElysrD.1>

Meeting ID: 820 2545 1064

Dial: +1 312 626 6799

Passcode: 828940

A. ROLL CALL

B. MINUTES

1. Minutes from June 25th Meeting

C. OLD BUSINESS

D. NEW BUSINESS

1. Proposal of 3 New Buildings for honey processing at 2063 38th St.

E. OTHER BUSINESS

F. UNFINISHED BUSINESS

G. ADJOURN

MARC Members

Lee Pierce, ICON Architechts - President
Victoria Vayda-Hammond - Vice President
Jordan Singer - Building Official
Jarek Wigness - City Engineer
Mitch Bitz - Fire Chief

Support Staff (City of Mandan)

Shasta Reindl - Administrative Asst.
Andrew Stromme - Planner
Madison Cermak - Business Development

Shane Weltikol - Resident Vacant - Resident Kendra Rennich - Resident Logan Caldwell - Resident
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Please note: If any commission member would like additional information, please feel free to contact the Building Inspections Department at 667-3230 prior to the meeting.

June 25th MARC Meeting

Shane Weltikol, Victoria Vayda-Hammond and Andrew Stromme are absent.

Lee, Jordan, Jarek, Mitch and Logan present.

Lee presenting minutes from June 11th meeting. Logan moved to approve. Jarek second to approve. Minutes approved.

New business, proposal of AutoZone:

Tom Michaels with Zaremba Group and Mitchell whom is on Zoom, civil engineer for project proposal for 1120 E. Main. Showed site plan with new proposed building. Alignment of building is consistent with bowling alley and Domino's. Not proposing access to alley, buffer along the alley way. Dumpster enclosure in plans. Exterior storefront with AutoZone typical colors, red and orange. Storefront with nice amount of glass. Eastern elevation of building will have number of window panels. Number of trees to break up the façade. Signage on two or three of the elevations. Jordan Singer asked about the east side showing some of the landscaping if that is on the property or right-of-way. The building is offset 2 ft from the eastern property line. Intent to give a nice buffer strip from building. Lee Pierce is concerned with sight lines on this building with previous buildings' issues. Singer agrees. Pierce asked about the two approaches onto Main St. Concern with them too close to each other. Primary concern with single approach was to get truck in/out of the site. DOT would prefer just one approach. Drive lanes are 32' wide. Pierce asked about dumpster enclosure material. Mitchell said it will reflect/match building. Madison Stromke asked if DOT says it needs to have one approach is that an issue? They said it is not a major issue. Pierce and Jarek Wigness asked if they can move the building north at all due to truck needing more room to turn around. They can shift the building 2-3' to the north. Tom mentioned there is some room to shift the building to the west up to 10' without compromising current layout. Wigness mentioned this may need some more discussion internally. Pierce asked about the glass and glazing, smoked or clear. It will be a dark opaque color, no tinting, typical storefront glass. Variance for storm water approved.

Singer called to motion, moved to approve based off internal staff discussion of site layout and DOT right-of-way discussion. Wigness seconds the motion. Roll call vote.

Logan – yes, Mitch – yes, Jordan – yes, Jarek – yes

Motion approved.

Meeting adjourned by Pierce.



ARCHITECTURAL REVIEW COMMISSION
APPLICATION

Applications need to be submitted to the Building Inspections Department no later than 12 p.m. (noon) on the Wednesday prior to the scheduled meeting at which consideration is desired. Digital submittals will be accepted. If paper copies are submitted a copy of the following information is required. They shall be no larger than 11 x 17 and need to have complete sets, drawn to scale. Incomplete applications will not be accepted. If you have any question call the Building Inspections department at 701-667-3230.

1. Description of Proposed Activity: Construct 3 buildings for honey processing

2. Name of Owner: Oleg Stasenko
Mailing Address: 2063 38th Street, Mandan, ND 58554
Phone (Cell) (916) 501-7377 (Office)
Name of Architect if applicable: N/A
Mailing Address:
Phone (Cell) Office
Name of Contractor: Oleg Stasenko
Mailing Address: 2063 38th Street, Mandan, ND 58554
Phone (Cell) (916) 501-7377 (Office)
Parcel Address: 2063 38th Street, Mandan, ND 58554
Legal Description:
Lot 5 & 6 Block 12 Addition
Section SW1/4 10 Township 139N Range 81W
Zoning: A
Special Purpose District: N/A
Existing Land Use: Agricultural
Lot Size (Sq Ft) 57,463
Existing Bldg Area (Sq Ft) 8,236
Proposed Bldg Area (Sq Ft) 11,648
11. Estimated Cost of Project: \$100,000
Is this project receiving incentives from the City of Mandan? Yes No X
If you are receiving incentives please indicate which programs have been applied for.

I understand the procedures for Architectural Review and have received the checklist (see attached sheet) to be followed for approval as set forth in Chapter 11-1-1 of the Mandan City Code.

Approvals are subject to compliance with Federal, State and Local regulations.

Applicant: Oleg Stasenko Date: 7/17/2024





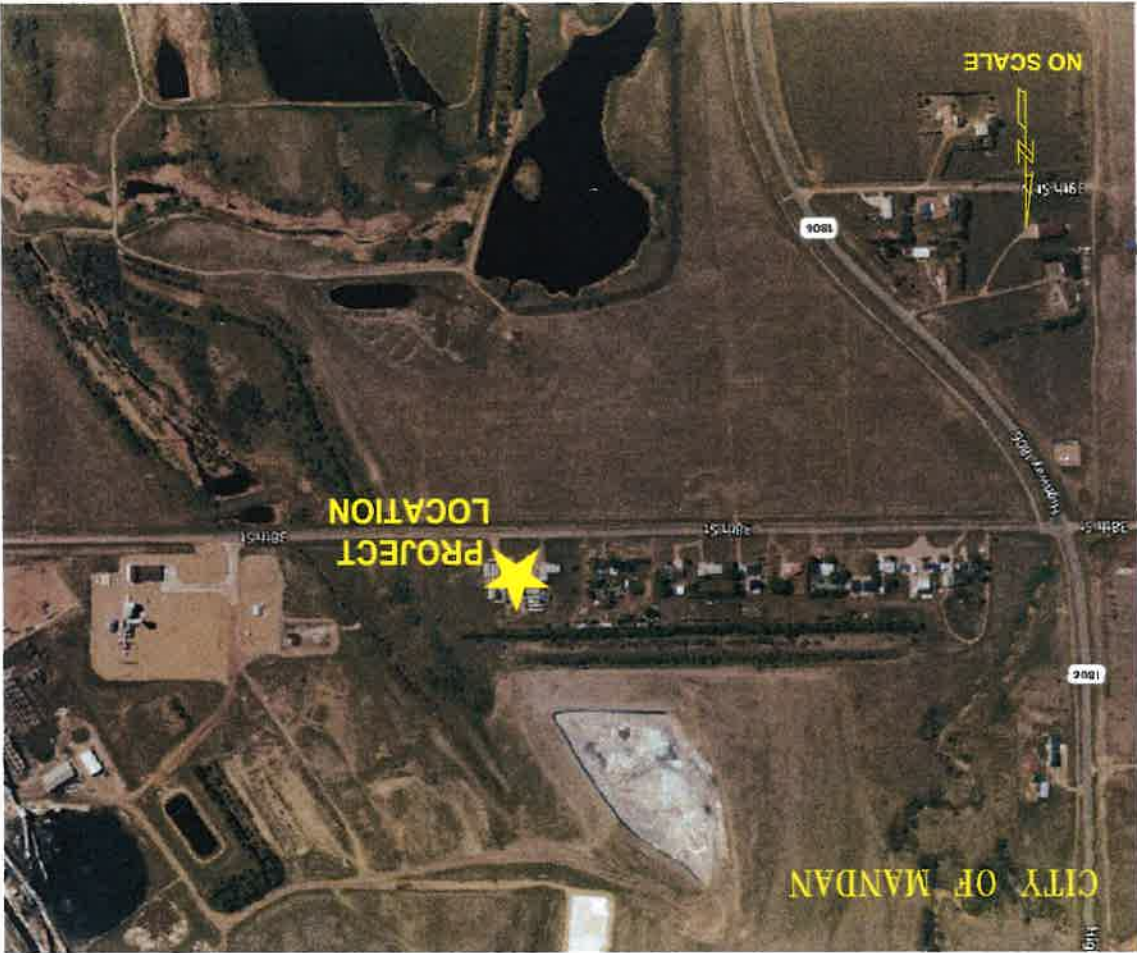


STASENKO, OLEG
SITE IMPROVEMENTS
MANDAN, NORTH DAKOTA

INDEX OF DRAWINGS	
SHT NO	TITLE
1	TITLE SHEET
2	EXISTING CONDITIONS
3	PROPOSED CONDITIONS
4	PROPOSED GRADING

DESIGN ENGINEER'S CERTIFICATE
I, DAVID J. THOMPSON, A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF NORTH DAKOTA, HEREBY CERTIFY THAT THE PLANS FOR LOTS 1, BLOCK 1, ROCKHAVEN HEIGHTS 2ND SUBDIVISION WERE PREPARED UNDER MY SUPERVISION AND ARE COMPLETE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

DAVID J. THOMPSON, P.E.
REGISTERED PROFESSIONAL ENGINEER
NORTH DAKOTA REGISTRATION NO. 2671



70251

TOMAN ENGINEERING

501 1st Street NW, Mandan, ND 58554

Phone: 701-663-6483 • Fax: 701-663-0923

STASENKO, OLEG

2063 38TH ST

MANDAN, NORTH DAKOTA

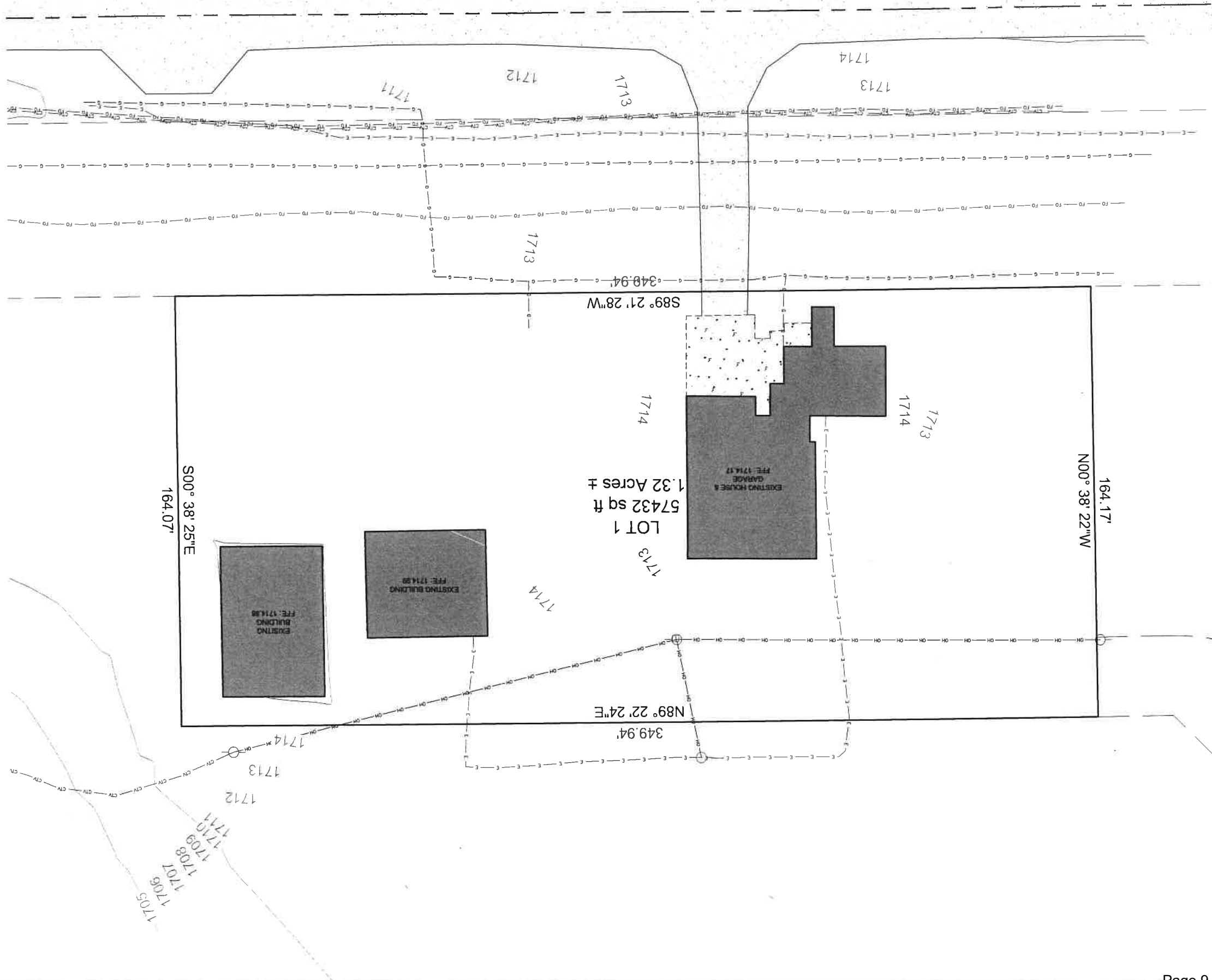
LOTS 1, BLOCK 1, ROCKHAVEN HEIGHTS 2ND SUBDIVISION.

SHEET 1 OF 4

JULY, 2024

TITLE SHEET

CAUTION
UTILITY LOCATIONS ARE APPROXIMATE.
CONTRACTOR IS RESPONSIBLE FOR
VERIFYING LOCATION PRIOR TO
EXCAVATION



- VERT. DATUM: NGVD83
HORIZ. DATUM: 1983 STATE PLANE, ND
SOUTH (3302)
- LEGEND**
- EXISTING POWER POLE
 - EXISTING ELECTRICAL BOX
 - EXISTING CABLE TV
 - EXISTING FIBER OPTIC
 - EXISTING UNDERGROUND ELECTRIC
 - EXISTING OVERHEAD ELECTRIC
 - EXISTING GAS
 - EXISTING CONTOUR
 - EXISTING CONCRETE
 - EXISTING ASPHALT
 - EXISTING BUILDING



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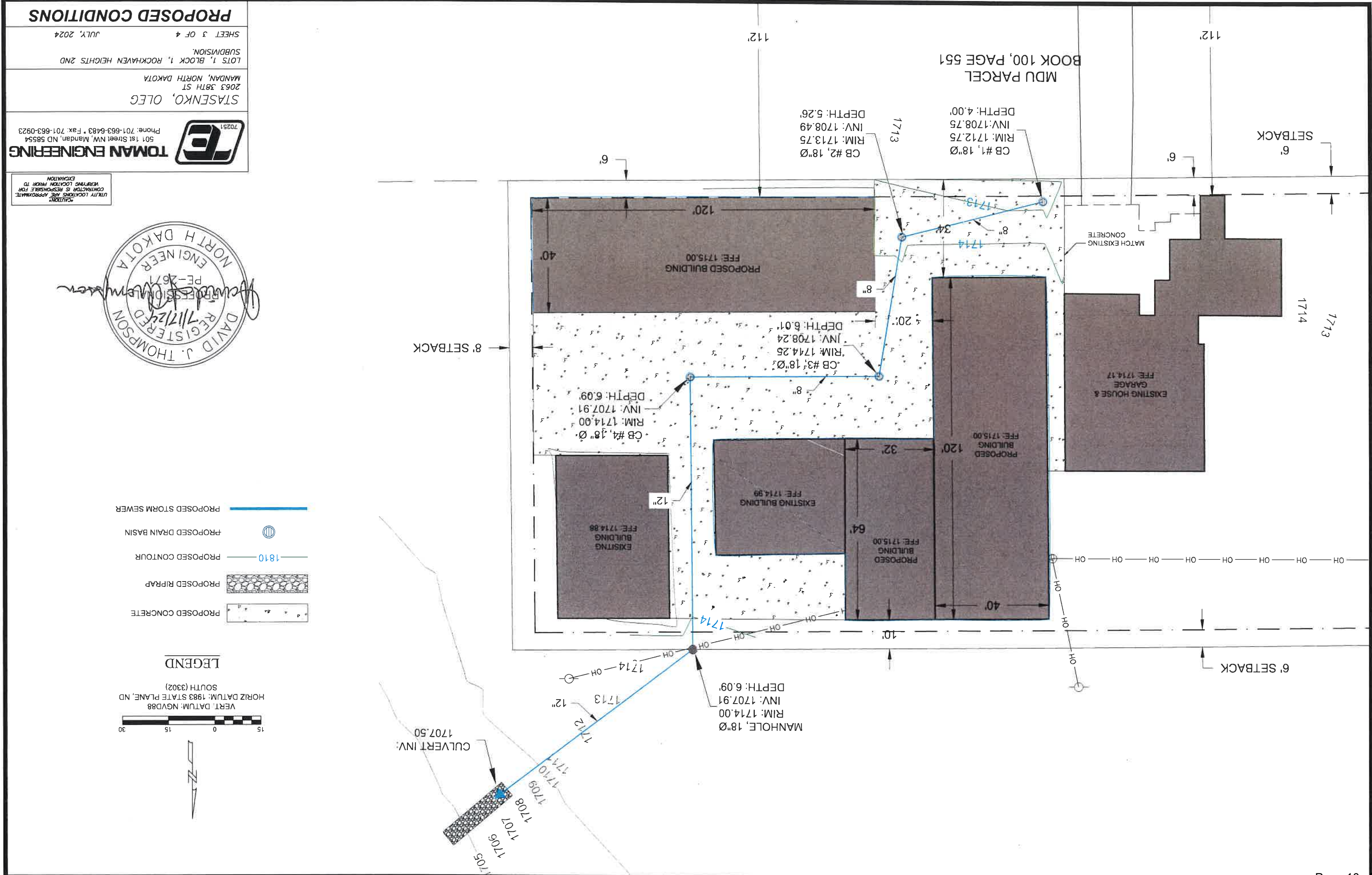
STASENKO, OLEG
2063 38TH ST
MANDAN, NORTH DAKOTA

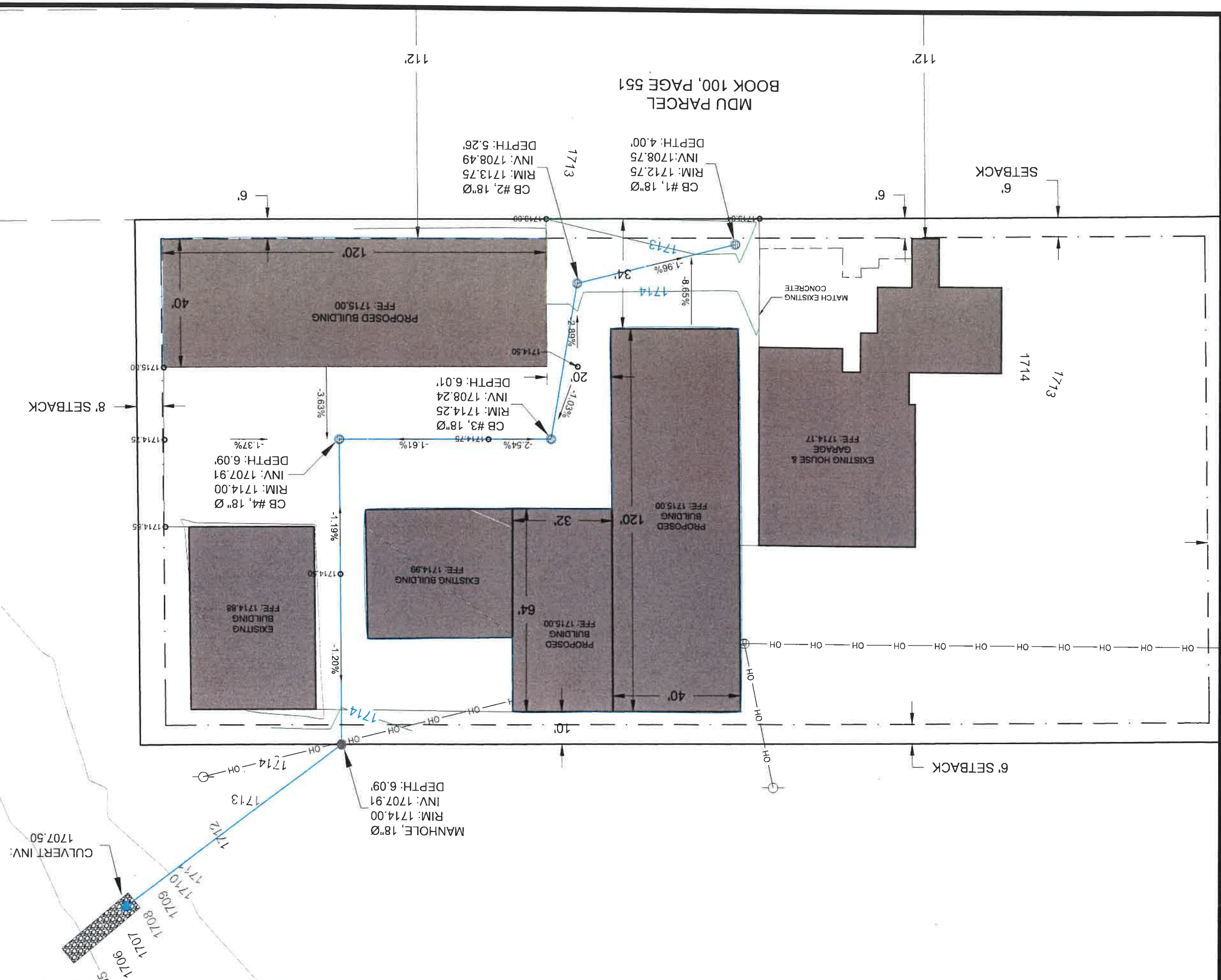
LOTS 1, BLOCK 1, ROCKHAVEN HEIGHTS 2ND SUBDIVISION.

SHEET 2 OF 4
JULY, 2024

EXISTING CONDITIONS

NOTES:
UTILITY LOCATIONS ARE APPROXIMATE.
CONTRACTOR IS RESPONSIBLE FOR
VERIFYING LOCATION PRIOR TO
EXCAVATION.





PROPOSED GRADING

SHEET 4 OF 4
JULY, 2024

LOTS 1, BLOCK 1, ROCKHAVEN HEIGHTS 2ND SUBDIVISION,
MANDAN, NORTH DAKOTA
2063 38TH ST
STASENKO, OLEG

TOMAN ENGINEERING
501 1st Street NW, Mandan, ND 58554
Phone: 701-663-6483 • Fax: 701-663-0923

CAUTION -
UTILITY LOCATIONS ARE APPROXIMATE.
CONSTRUCTION IS RESPONSIBLE FOR
VERIFYING LOCATION PRIOR TO
EXCAVATION.



LEGEND

○ 1714.15 PROPOSED SPOT ELEVATION

→ -2.68% PROPOSED FLOW ARROW

NOTE: ALL ELEVATIONS AT FLOWLINE UNLESS OTHERWISE NOTED

HORIZ DATUM: 1983 STATE PLANE, ND SOUTH (3302)

VERT. DATUM: NGVD88

30 15 0 15

A perspective drawing of a rectangular wire mesh tray or container. The structure is composed of a grid of thin wires. It has a flat base and four vertical side walls. The front and back walls are slightly taller than the side walls. The drawing is shown from an isometric perspective, highlighting the three-dimensional nature of the object. The grid pattern is consistent across the base and the walls.

It is proposed that the first part of the Bill be
decided in the next day's Committee stage and
Small, Mr. WOODWARD responded on 10.30 for
the Government.

12 55:41

INVERTING

Joe Martinez, postinbeam2VPC.VPC

A Journal of the Society for the Study of the History of the Psychological Sciences



ASTM DESIGNATION

3 PLATE
COLD FO

GRADE 55
GRADE 60
GRADE 50
GRADE 36 OR 50
GRADE 50

IT IS THE RESPONSIBILITY OF THE ERECTOR TO INSURE PRO

REGULATIONS. THE FOLLOWING CRITERIA IS IN COMPLIANCE WITH THE LATEST SPECIFICATIONS, HOWEVER THE ERECTOR IS RESPONSIBLE TO VERIFY LOCAL AUTHORITY REQUIREMENTS.

WHEN MULTIPLE BU

WHEN MULTIPLE BUILDINGS ARE INVOLVED, SPECIFIC LOAD FACTORS FOR DIFFERING OCCUPANCIES, BUILDING DIMENSIONS,

Building Code: CBC07
Based on Building Code 2006 International Building Code

Live Load 20.00 psf (Reducible)
Rainfall: 5.00 inches per hour

SNOW LOAD
Ground Snow: 0.00 psf Flat Roof

Snow Exposure Category (Faktor)

Ground Snow: 0.00 psf, Flat Roof Snow: 0.00 psf
Snow Exposure Category (Factor): 1 Fully Exposed (0.90)

Wind Speed: 90.00 mph, Wind Exposure: C
Basic Wind Pressure: 15.17 psf

Wind Importance Factor: 1.000, F_t = Topographic Factor: 1.000
Wind Enclosure: Enclosed, 0.180

must be designed for the specified above wind loads

Lateral Force Resisting Systems using Equivalent Force Procedure

Seismic Hazard / Use Group: Group 1
Seismic Performance / Design Category: D (See Bolt Tightening NoSeismic Importance: 1.00
Soil Profile Type: Stiff soil (D, 4)

Ordinary Steel Moment Frames

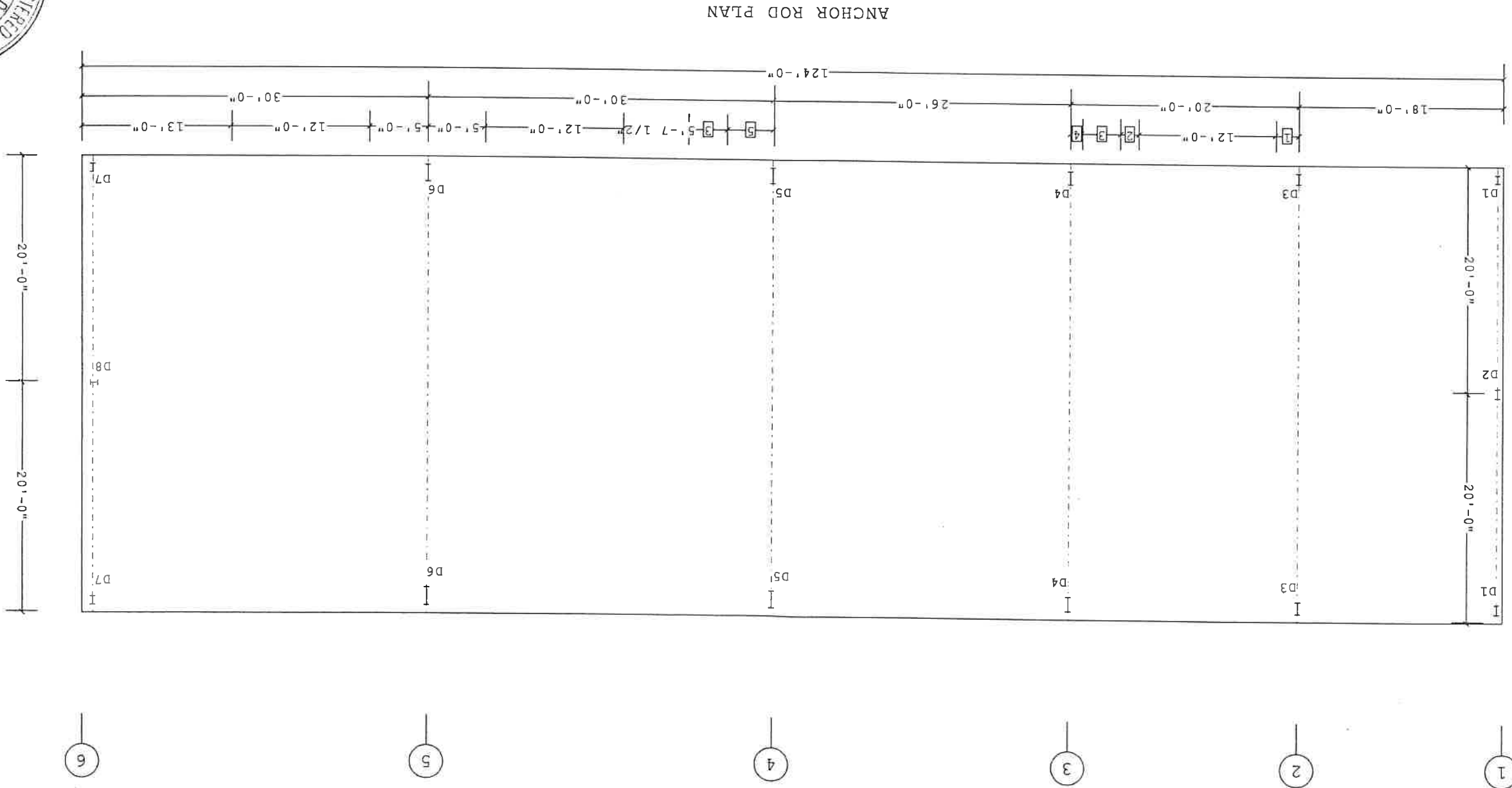
Framing R-Factor: 3.5000, Frame Seismic Factor (%): 0.3688, D

Brace Redundancy Factor: 1.3000

Source: *Author's calculations*.



- Dimension Key
- 1 2'-0"
 - 2 1'-7 1/2"
 - 3 3'-4 1/2"
 - 4 1'-0"
 - 5 4'-0"



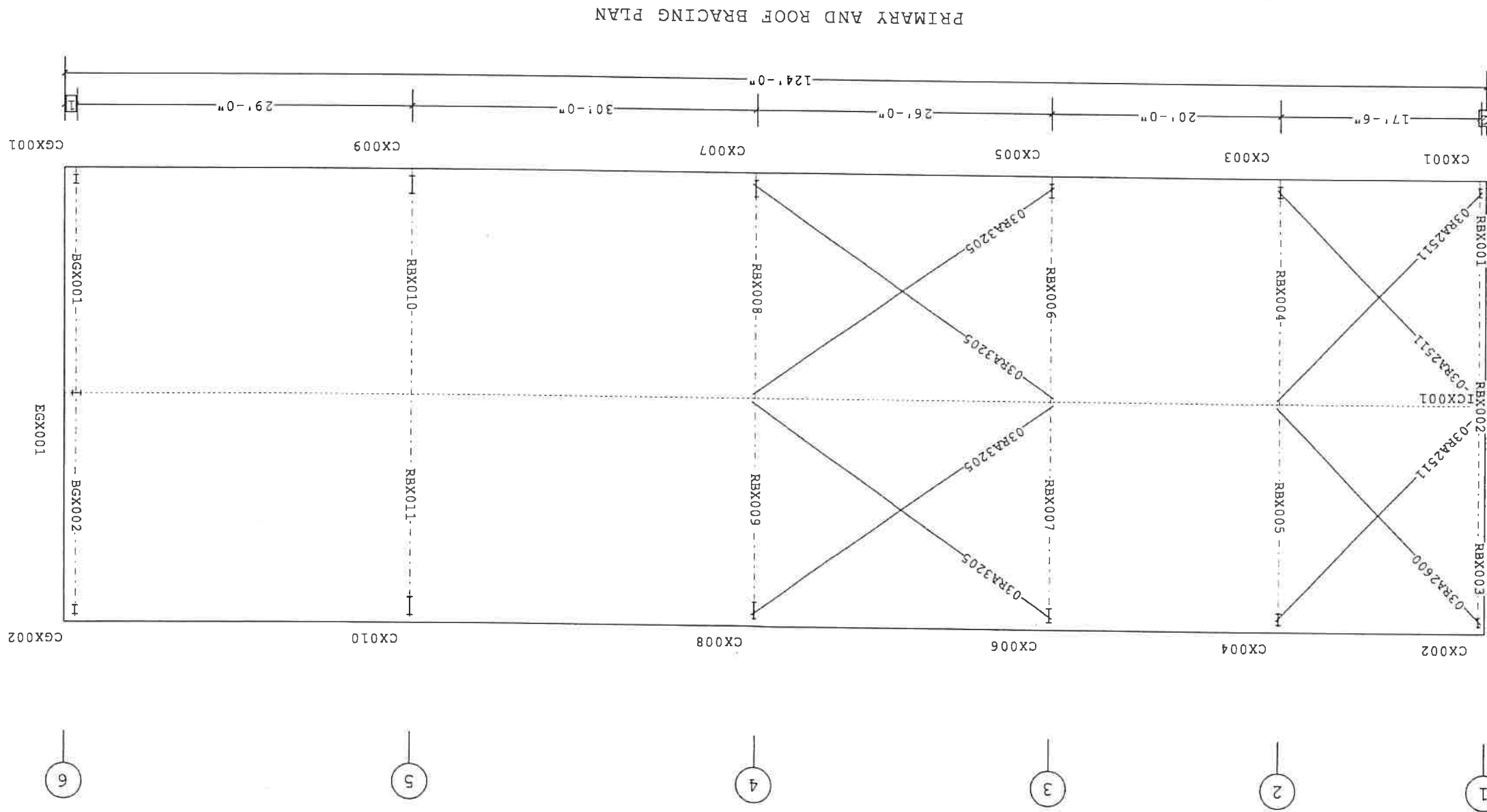
THE OFFICIAL CONTRACTOR AND/OR ARCHITECT'S SEAL IT IS REQUIRED TO SEAL FOR ERECTING THE BUILDING SHALL NOT BE USED IN ANY OTHER PROJECT WITHOUT WRITTEN APPROVAL OF THE ARCHITECT		REVISIONS REV. DATE BY DESCRIPTION		PROJECT OWNER PROJECT LOCATION MANDAN, ND DATE 3/9/2007 DRAWN BY PAGE 2	
ANCHOR ROD PLAN		NTS		Joe Martinez postbeam VPC VPC	

Shape Name = 1234

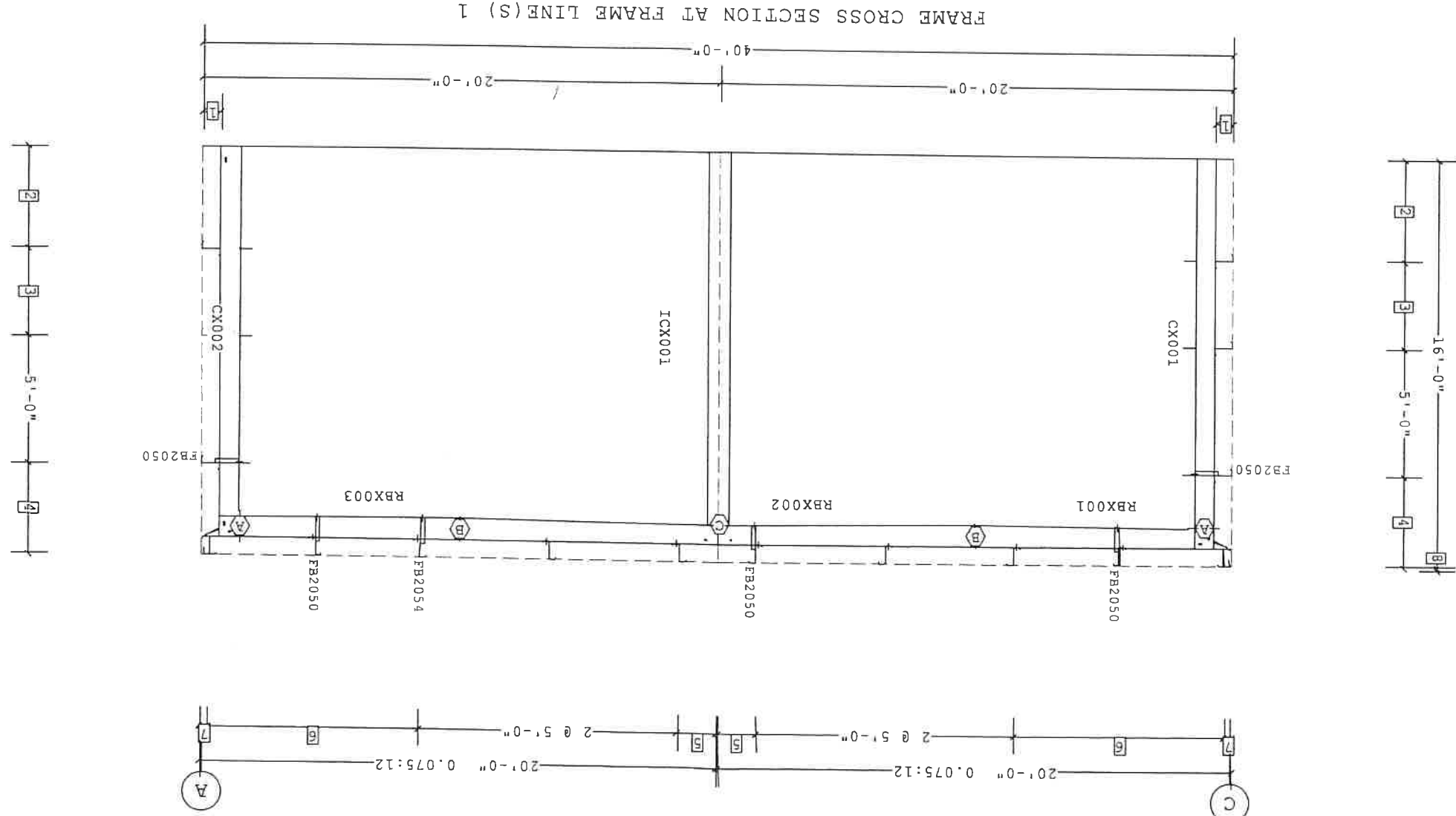
[illegible]

REV	DATE	BY	DESCRIPTION	REVISIONS
				1. ADDED COOL ERECTORS
				2. CHANGED QLEG STASSENKO
				3. LOCATION
				4. PROJECT
				5. NUMBER 5 1010
PRIMARY AND ROOF BRACING				

PRIMARY AND ROOF BRACING PLAN



Frame Member Schedule									
Part	Mem	Width	Thk	WebThk.	Depth1	Depth2	Approx. Lgth	Frame Clearances	
CX001	1	5"	.1345	.1345	9"	9"	14'-6 1/4"	Horiz. Clearance between members 1(CX001) and 6(CX002): 37'-1"	
RBX001	2	5"	.1345	.1345	9 3/8"	10"	9'-11 13/16"	Vert. Clearance at member 1(CX001): 14'-6 1/4"	
RBX002	3	5"	.1345	.1345	10"	9"	20'-0"	Vert. Clearance at member 6(CX002): 14'-3 3/8"	
RBX003	4	5"	.1345	.1345	9"	10"		Vert. Clearance at member 7(ICX001): 14'-7 15/16"	
RBX003	5	5"	.1345	.1345	10"	9 3/8"	8'-6 9/16"	Finished Floor Elevation = 100'-0" (Unless Noted Otherwise)	
CX002	6	5"	.1345	.1345	9"	9"	15'-3 5/8"		
ICX001	7	5"	.1345	.1345	10"	14'-7 15/16"			



Dimension Key	Id	Qty	ASTM	Bolt	Plate	Rows	Tension	Washer
6	2 @ 4'-1 1/4"							
5	1'-6 1/16"							
4	3'-6 3/4"							
3	3'-5 1/4"							
2	4'-0"							
1	8 1/2"							
		A	8	A325	3/4"	2		
		B	4	A325	3/4"	1		
		C	4	A325	1/2"	1		



1 USE 1/2 X 1 1/2 A325 SNUG TIGHTENED BOLTS FOR PURLIN TO FRAME, GIRT TO FRAME, AND GIRT TO CLIP CONNECTIONS UNLESS NOTED OTHERWISE.
2 SLOT REINFORCEMENT PLATES NEED NOT BE LOCATED ON THE SAME SIDE OF THE WEB AS THE HILLSIDE WASHER

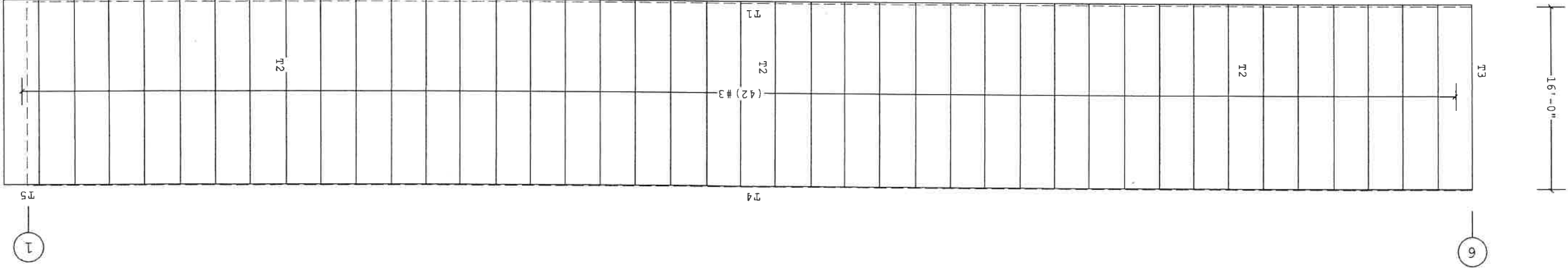
THE GENERAL CONTRACTOR AND ARCHITECT, IN SELECTING THE MATERIALS, SPECIFICATIONS, AND METHODS OF CONSTRUCTION, SHALL BE RESPONSIBLE FOR THE QUALITY OF THE WORKMANSHIP. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE QUALITY OF THE DESIGN AND THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE QUALITY OF THE CONSTRUCTION. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE QUALITY OF THE DESIGN AND THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE QUALITY OF THE CONSTRUCTION. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE QUALITY OF THE DESIGN AND THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE QUALITY OF THE CONSTRUCTION.

FRAME CROSS SECTION AT FRAME LINE(S) 1		DATE		3/12/2009	
		B/F		12 55 46	
		DESCRIPTION		NTS MULTIPLE 3 PILES	
		PROJECT COLOCATION MANDAN, ND		JOE MARTINEZ POSHBEAM2VPC VPC 10000	
		CUSTOMER COOL ERECTORS		DATE 3/9/2007	
JOB #		JOB #		PAGE 5	

Covering Schedule
Id Qty Type Start Length Gage OP Fin. Color Direction
#3 42 PR 16'-2" 26 F K TD Left to Right
Oper. Code: F=CR, SQ
Finish: K=KXL
Color: TD=Standard Color

Trim Schedule
Id Parts
T1 (6.2) BA1
T2 DEL, DNL, (2) DS10, (4) DST1
T3 CT16
T4 (6) EG201, EG121, (12) PCA10A, PCA05A, (43) STR2
T5 BS1, GG1, MCC1, PRF1

Color Details
Patrician Bronze EN52A1, RC00A1, WC01D1, WC04A1
Match Wall Color RC38F1
Match Wall Color WC20A1
Patrician Bronze RC03B1, RC04B1, RC32B1, RC39A2, RC61B6
Patrician Bronze RC38A1



COVERING ELEVATION AT A



1. PRE-DRILLING 1/8" DIAMETER HOLES FOR WALL STRUCTURAL FASTENERS MAY BE REQUIRED AT 11 GAGE GIRTS, NESTED GIRTS, GIRT LAP LOCATIONS, AND/OR SECONDARY STRUCTURAL BEAMS 2. WALL SHEETS ARE AN INTEGRAL PART OF THE STRUCTURAL SYSTEM. REMOVAL OR ALTERATION WITHOUT PRIOR AUTHORIZATION IS PROHIBITED 3. PANELS SHOWN WITH A LENGTH LESS THAN 1'-0.50 FOR SSR, MAY HAVE TO BE FIELD CUT 4. SEE JOB DETAILS FOR SHEETING AND TRIM FASTENER SPECIFICATION		1. PROVIDE SOLELY FOR ERECTING THE BUILDING DESCRIBED IN THE APPLICABLE SPECIFIED ORDER AND SHALL NOT BE MODIFIED, REWORKED, OR USED FOR ANY OTHER PURPOSE WITHOUT PRIOR WRITTEN APPROVAL OF VP BUILDINGS 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE BUILDING'S RESPONSIBILITY FOR ACCURATE GOOD QUALITY WORKMANSHIP IN ERECTING THIS BUILDING IN CONFORMANCE WITH THE DRAWING DETAILS REFLECTED IN THIS DRAWING. ALL WORK SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE ARCHITECT AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CORRECT USE OF TEMPORARY BRACING, INCLUDING THE CORRECT USE OF TEMPORARY		REV. DATE 9/7		DESCRIPTION		BUILDING Cool Erectors		LOCATION Oleg Stasenko		PROJECT Mandan, ND		BUILDING NTS		FILE NAME Joe Martinez.postbeam2VPC VPC		12:56:03		3/12/2009			
JOB #		DATE 3/9/2007		DRAWING CHECK		PAGE 18		JOB #		DATE 3/9/2007		DRAWING CHECK		PAGE 18		JOB #		DATE 3/9/2007		DRAWING CHECK		PAGE 18	