



**MANDAN ARCHITECTURAL REVIEW
COMMISSION
AGENDA
APRIL 22, 2025
VETERAN'S CONFERENCE ROOM
CITY HALL, 205 SECOND AVENUE NW
1:00 PM
WWW.CITYOFMANDAN.COM**

The public may access the Zoom meeting online at:

Join Zoom Meeting

<https://us06web.zoom.us/j/81644537081?pwd=XxFBvU9yBFwYXLBpslBcNvghTlO5Z8.1>

Meeting ID: 816 4453 7081

Dial: +1 312 626 6799

Passcode: 342268

A. ROLL CALL

B. MINUTES

1. MARC Minutes April 8th, 2025

C. OLD BUSINESS

D. NEW BUSINESS

1. New Commercial project at 914 17th St NE

E. OTHER BUSINESS

F. UNFINISHED BUSINESS

G. ADJOURN

MARC Members

Matthew Bradley - President
Victoria Vayda-Hammond - Vice President
Jordan Singer - Building Official
Jarek Wigness - City Engineer
Mitch Bitz - Fire Chief
Shane Weltikol - Resident
Kendra Rennich - Resident

Support Staff (City of Mandan)

Brittany Thomas - Permit Technician
Andrew Stromme - Planner
Madison Cermak - Business Development

Mandan Architectural Review Commission
Agenda]
April 22, 2025
Page 2 of 2

Kari Nardello - Resident Ryan Welder - Resident
--

Please note: If any commission member would like additional information, please feel free to contact the Building Inspections Department at 667-3230 prior to the meeting.

April 8th MARC Meeting Minutes

Meeting roll call members, Matthew Bradley, Victoria Vayda-Hammond, Jordan Singer, Jarek Wigness, Mitch Bitz, Kari Nardello, Ryan Welder.

Meeting Minutes

Singer made a motion to approve the March 25th MARC meeting minutes.

Vayda-Hammond seconded the motion.

New Business

Project at 1307 1st street NE, it will be sided with diamond coating and steal siding, the same material will be used that is on the Leingang chiropractic building. Overhang will come out five feet and the sign is about seven to eight feet from the building and protrudes the right of way. A roof will also be added to the block building part of it.

Wigness made a motion to approve as long as a contingent on proper encroachment agreement.

Bitz seconded the motion.

The vote was unanimously approved.

In more New Business, Malloy is expanding their company for a phase 3 project. The look will remain the same and will be able to store up to 50 tons of equipment. 150 by 100 ft is the addition that will be added to the end of the building. A sprinkler system will be added, as well as a firetruck turnaround.

Bitz made a motion to approve the project.

Vayda-Hammond seconded the motion.

The vote was unanimously approved.

The meeting was adjourned.



ARCHITECTURAL REVIEW COMMISSION APPLICATION

Applications need to be submitted to the Building Inspections Department no later than 12 p.m. (noon) on the Wednesday prior to the scheduled meeting at which consideration is desired. Digital submittals will be accepted. If paper copies are submitted a copy of the following information is required. They shall be no larger than 11 x 17 and need to have complete sets, drawn to scale. Incomplete applications will not be accepted. If you have any question call the Building Inspections department at 701-667-3230.

1. Description of Proposed Activity: New Building & Parking Lot Construction
2. Name of Owner: Nicodemus & Sheila Renner
Mailing Address: 710 39th St. N., Mandan
Phone (Cell) 701-224-9074 (Office) _____
3. Name of Architect if applicable: ILSE INC - Abe Ulmer
Mailing Address: 4215 OLD RED TRAIL NW, Mandan
Phone (Cell) 701-220-0968 Office) 701-663-5184
4. Name of Contractor: Creative Construction LLC - Chad Dietrich
Mailing Address: 4720 19th St SE Mandan
Phone (Cell) 701-663-3446 (Office) 701-223-2640
5. Parcel Address: 914 17th Street NE, Mandan
6. Legal Description:
Lot 6 Block 2 Addition Denisons IND. Park Replat of Block 2
Section SW 23 Township 139N Range 81W
7. Zoning: MC-Industrial
8. Special Purpose District: -
9. Existing Land Use: Vacant
10. Lot Size (Sq Ft) 16,865 SF
Existing Bldg Area (Sq Ft) 0
Proposed Bldg Area (Sq Ft) 5,500 SF
11. Estimated Cost of Project: \$ 850,000
➤ Is this project receiving incentives from the City of Mandan? Yes ___ No X
If you are receiving incentives please indicate which programs have been applied for.

I understand the procedures for Architectural Review and have received the checklist (see attached sheet) to be followed for approval as set forth in Chapter 111-1 of the Mandan City Code.

Approvals are subject to compliance with Federal, State and Local regulations.

Applicant:  Date: 4-15-25
Authorized Representative

Revised (9-20)



CHECK LIST FOR ARCHITECTURAL REVIEW COMMISSION APPLICATION

Applications need to be submitted to the Building Inspections Department no later than 12 p.m. (noon) on the Wednesday prior to the scheduled meeting at which consideration is desired. Digital submittals will be accepted. If paper copies are submitted ten (10) copies of the following information are required. Eight (8) copies shall be no larger than 11 x 17 and two copies shall be complete sets, drawn to scale. Incomplete applications will not be accepted. If you have any question call the Building Inspections department at 701-667-3230.

A. Plot Plan - Drawn to Scale

- X 1. Boundaries-Indicate North Arrow
- X 2. Road(s) fronted upon
- X 3. Utility lines or easements-existing and planned
- X 4. Major topographic features-existing and planned-drainage
- X 5. Landscaping and major vegetative cover-existing and planned
- X 6. Location of structure(s) on site; existing and proposed
 - a. Includes dimensions
 - b. Includes set back distances
 - c. Includes exterior security and area lighting, fire hydrants (must indicate if 350 feet or less from proposed project), etc.
 - d. Dumpsters and screen walls
- X 7. Vehicular and pedestrian plans.
 - a. Parking. Include number of spaces including handicapped parking, location, hard surfacing, etc.
- X 8. Signage

B. Photos and/or Samples of Proposed Building Exterior, Including Exterior Colors

C. Elevation Architectural Plans to Scale

- X 1. Elevation drawings to include ALL sides.

D. Two Copies of the Storm Water Management Systems. This must be certified by an engineer. If not applicable, submit in writing why you think it should not affect the existing system.

E. The owner, whenever possible, and the contractor or a representative needs to be present at the scheduled meeting.

Note: If your project is for exterior improvements to a building with no additions, driveway, sidewalk, landscaping, or grading to the lot only the information in sections B and C are required. Incomplete applications will not be accepted.

The Architectural Review Board has a regularly scheduled meeting every 2nd and 4th **Tuesday at 1 p.m. in City Hall.** Applications may be accepted and/or scheduled up to the prior Wednesday at 12 p.m. (noon).

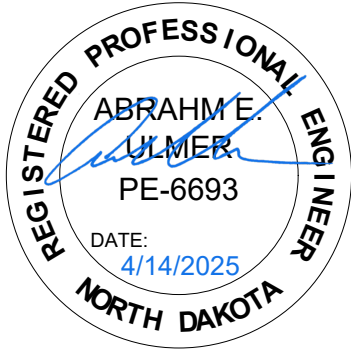
RENNER SHOP
914 17TH STREET NE
MANDAN, NORTH DAKOTA

INDEX OF DRAWINGS

SHEET NO.	TITLE
1	TITLE SHEET
2	EXISTING CONDITIONS & REMOVALS
3	PROPOSED CONDITIONS
4	PROPOSED UTILITIES
5	PROPOSED GRADING
6	PROPOSED LANDSCAPING



DESIGN ENGINEER'S CERTIFICATE
I, ABRAHM E. ULMER A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF NORTH DAKOTA, HEREBY CERTIFY THAT THE PLANS FOR LOT 6, BLOCK 2, DENISONS INDUSTRIAL PARK, MANDAN, NORTH DAKOTA WERE PREPARED UNDER MY SUPERVISION AND ARE COMPLETE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.



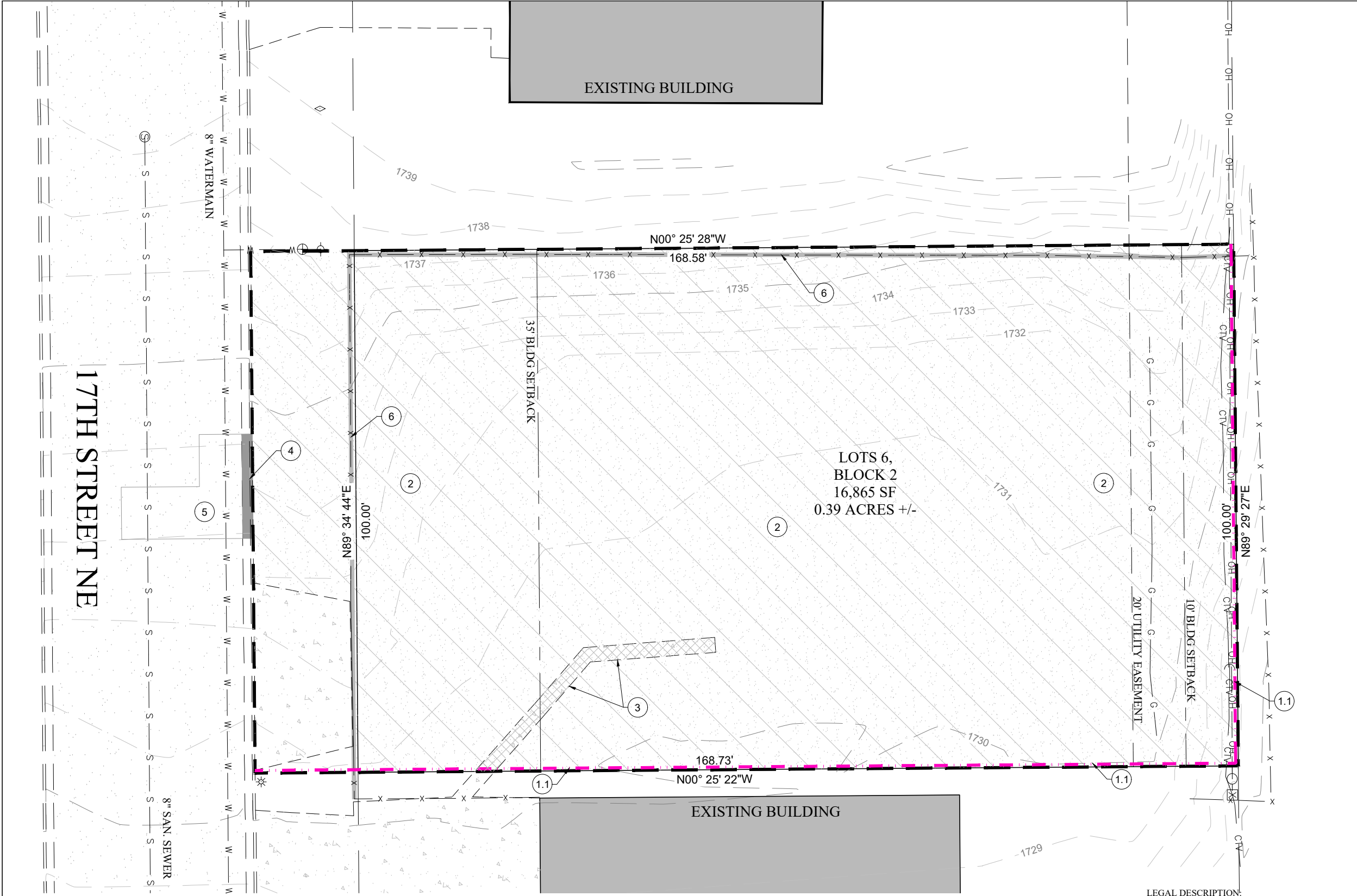
ABRAHM E. ULMER
REGISTERED PROFESSIONAL ENGINEER
NORTH DAKOTA REGISTRATION NO. 6693

CAUTION
CONTRACTOR IS RESPONSIBLE
FOR VERIFYING LOCATION OF ALL
UTILITIES PRIOR TO EXCAVATION

Independent Land Surveying
& Engineering Inc.
4215 OLD RED TRAIL NW, Mandan, ND 58554
Phone: 701-663-5184 Cell: 701-220-0968 PROJ # 24186

RENNER SHOP
TITLE SHEET

914 17TH STREET NE
MANDAN NORTH DAKOTA
LOT 6, BLOCK 2, DENISONS IND PARK REPLAT BLOCK 2
SHEET 1 OF 6
APRIL, 2025



SCALE: 1" = 20'

0 10 20

SURVEY INFO: VERT. DATUM: NAVD88
HORIZ DATUM: 1983 STATE PLANE, ND SOUTH (3302)

LEGEND

⌘ EXISTING SIGN

Ⓢ EXISTING SANITARY SEWER MANHOLE

◇ EXISTING CURB STOP

⊗ EXISTING GATE VALVE

⊕ EXISTING FIRE HYDRANT

○ EXISTING POWER POLE

✱ EXISTING STREET LIGHT

— W — W — EXISTING WATERMAIN

— S — S — EXISTING SANITARY SEWERMAIN

— CTV — EXISTING COMMUNICATIONS

— G — G — EXISTING UNDERGROUND GAS

— X — EXISTING FENCE

— E — E — EXISTING UNDERGROUND ELECTRIC

=== EXISTING CURB & GUTTER

- 1810 - EXISTING CONTOUR

⊠ EXISTING UTILITY PEDESTAL

[Pattern] EXISTING ASPHALT

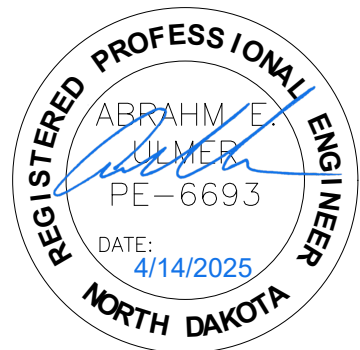
[Pattern] EXISTING CONCRETE

[Pattern] REMOVE EXISTING CONCRETE

[Pattern] REMOVE EXISTING GRAVEL

[Pattern] PROPOSED EROSION CONTROL

[Pattern] CONSTRUCTION LIMITS



CAUTION
CONTRACTOR IS RESPONSIBLE
FOR VERIFYING LOCATION OF ALL
UTILITIES PRIOR TO EXCAVATION

- # CALL OUTS:**
1. INSTALL EROSION CONTROL MEASURES PRIOR TO CONSTRUCTION
 - 1.1. INSTALL 9" FIBER ROLLS
 2. REMOVE EXISTING GRAVEL WITHIN CONSTRUCTION LIMITS
 3. REMOVE EXISTING CONCRETE
 4. REMOVE & REPLACE CURB & GUTTER
 5. REMOVE & REPLACE ASPHALT
 6. FENCE REMOVAL

APPROXIMATE QUANTITIES		
Spec No.	Misc. Items & Pavement Items	Quantity
1	Remove Existing Gravel	0.42 ACRE
2	Straw Wattles, 9 Inch	300 LF
3	Concrete Removal	155 SF
4	Curb Removal	20 LF
5	Asphalt Removal	35 SY
6	Fence Removal	275 LF

LEGAL DESCRIPTION:
LOT 6, BLOCK 2,
DENISONS IND. PARK REPLAT OF BLOCK 2
Lot Area: 16,865 SF

ZONING:
MC - INDUSTRIAL

SETBACKS:
FRONT: 35'
SIDE: 0'
REAR: 10'

OWNER:
NICODEMUS P & SHEILA RENNER
710 39TH STREET N
MANDAN, ND 58554

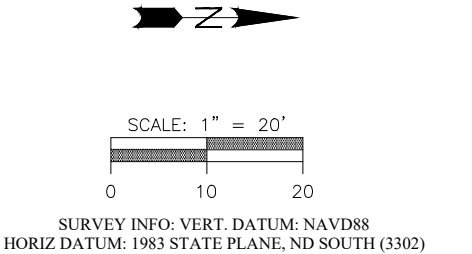
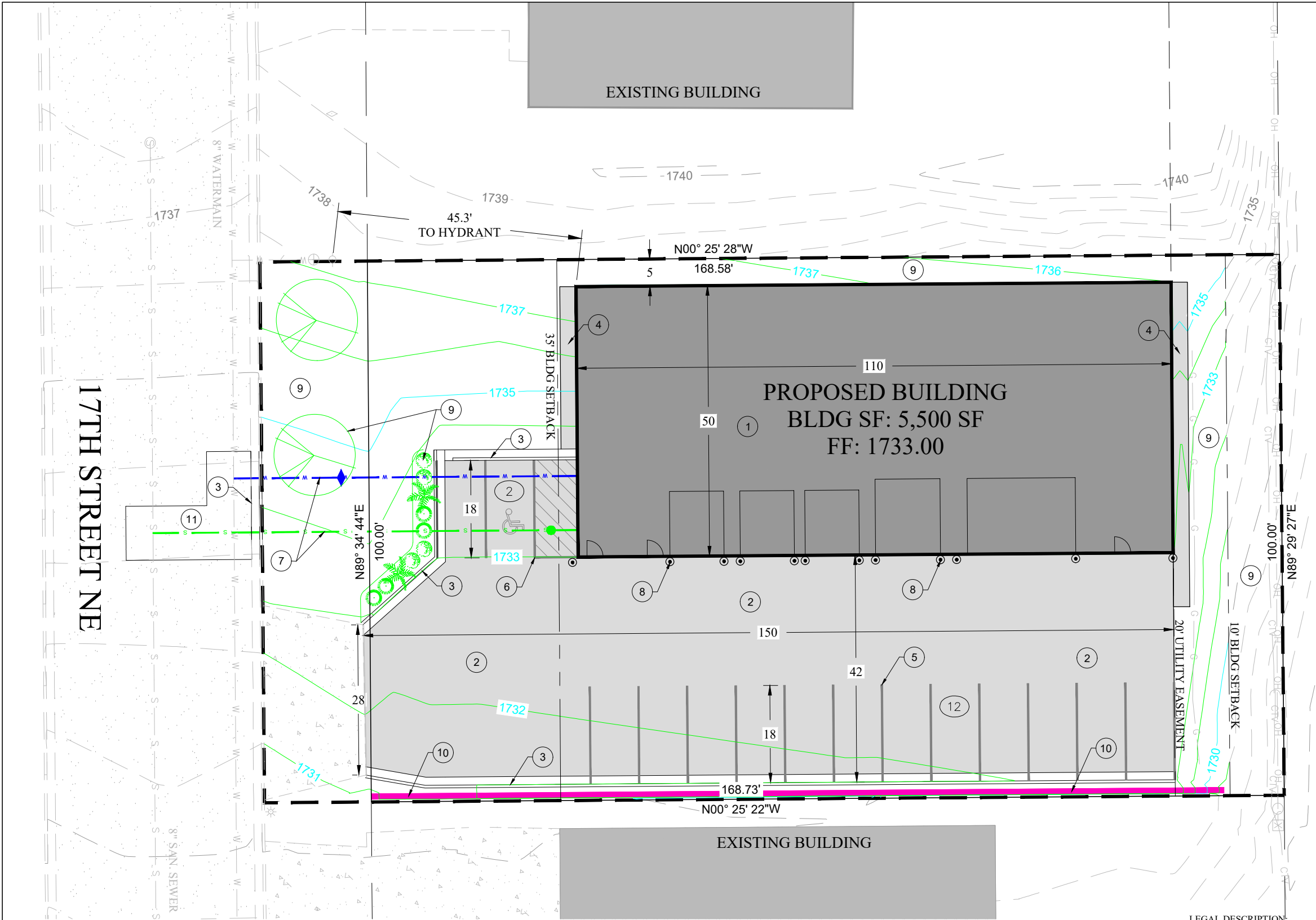
**Independent Land Surveying
& Engineering Inc.**

4215 OLD RED TRAIL NW, Mandan, ND 58554
Phone: 701-663-5184 Cell: 701-220-0968 PROJ # 24186

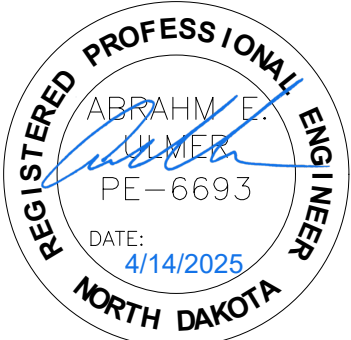
RENNER SHOP
**EXISTING CONDITIONS
& REMOVALS**

914 17TH STREET NE
MANDAN NORTH DAKOTA
LOT 6, BLOCK 2, DENISONS IND PARK REPLAT BLOCK 2
SHEET 2 OF 6

APRIL, 2025



- LEGEND**
- PROPOSED CURB & GUTTER
 - PROPOSED CONCRETE PAVEMENT
 - PROPOSED BUILDING
 - PROPOSED CONTOUR
 - PROPOSED WATER
 - PROPOSED CURB STOP
 - PROPOSED SANITARY SEWER
 - PROPOSED SANITARY CLEANOUT
 - PROPOSED RETAINING WALL
 - PROPOSED PARKING STALL COUNT
 - PROPOSED TREES/SHRUBS
 - CONSTRUCTION LIMITS



CAUTION
CONTRACTOR IS RESPONSIBLE
FOR VERIFYING LOCATION OF ALL
UTILITIES PRIOR TO EXCAVATION

- # CALL OUTS:**
- PROPOSED BUILDING
 - PROPOSED 6" CONCRETE PAVEMENT
 - PROPOSED CURB & GUTTER
 - PROPOSED 3' WIDE VALLEY GUTTER
 - PROPOSED PARKING STRIPING
 - PROPOSED HC PARKING STALLS - PROVIDE STRIPING & APPROPRIATE SIGNAGE
 - PROPOSED WATER & SANITARY SEWER MODIFICATIONS - SEE PLAN SHEET 4
 - PROPOSED BOLLARD (x12)
 - PROPOSED LANDSCAPE - SEE PLAN SHEET 6
 - PROPOSED BLOCK RETAINING WALL
 - PROPOSED ASPHALT PATCH

APPROXIMATE QUANTITIES		
Spec No.	Misc. Items & Pavement Items	Quantity
1	Unclassified Excavation	107 CY
2	Borrow Material	445 CY
3	Subgrade Preparation	825 SY
4	Aggregate Base 6"	340 Ton
5	6" Concrete	6,380 SF
6	4" Concrete Valley Gutters	270 SF
7	Standard Curb & Gutter	233 LF
8	6" Asphalt Patch	35 SY
9	Place Topsoil, Seeding, & Mulch	630 SY
10	Bollards	12 EA

*Dirtwork calculations were based on removal of 4" existing gravel compared to proposed surface with 6" concrete with 6" aggregate base. No shrinkage was calculated for the Borrow material needed.

BUILDING CONSTRUCTION TYPE:	STEEL FRAME
NUMBER OF STORIES:	1 LEVEL - WITH UPPER MEZZANINE
FIRE SUPPRESSION SYSTEM:	NO
TOTAL BUILDING AREA:	PRO. BLDG. 5,500 SF
REQUIRED PARKING:	5,500 SF @ $\frac{1}{400}$ SF = 14 SPACES
TOTAL REQUIRED PARKING:	14 SPACES SPACES PROVIDED = 14

LEGAL DESCRIPTION:
LOT 6, BLOCK 2,
DENISONS IND. PARK REPLAT OF BLOCK 2
Lot Area: 16,865 SF

ZONING:
MC - INDUSTRIAL

SETBACKS:
FRONT: 35'
SIDE: 0'
REAR: 10'

OWNER:
NICODEMUS P & SHEILA RENNER
710 39TH STREET N
MANDAN, ND 58554

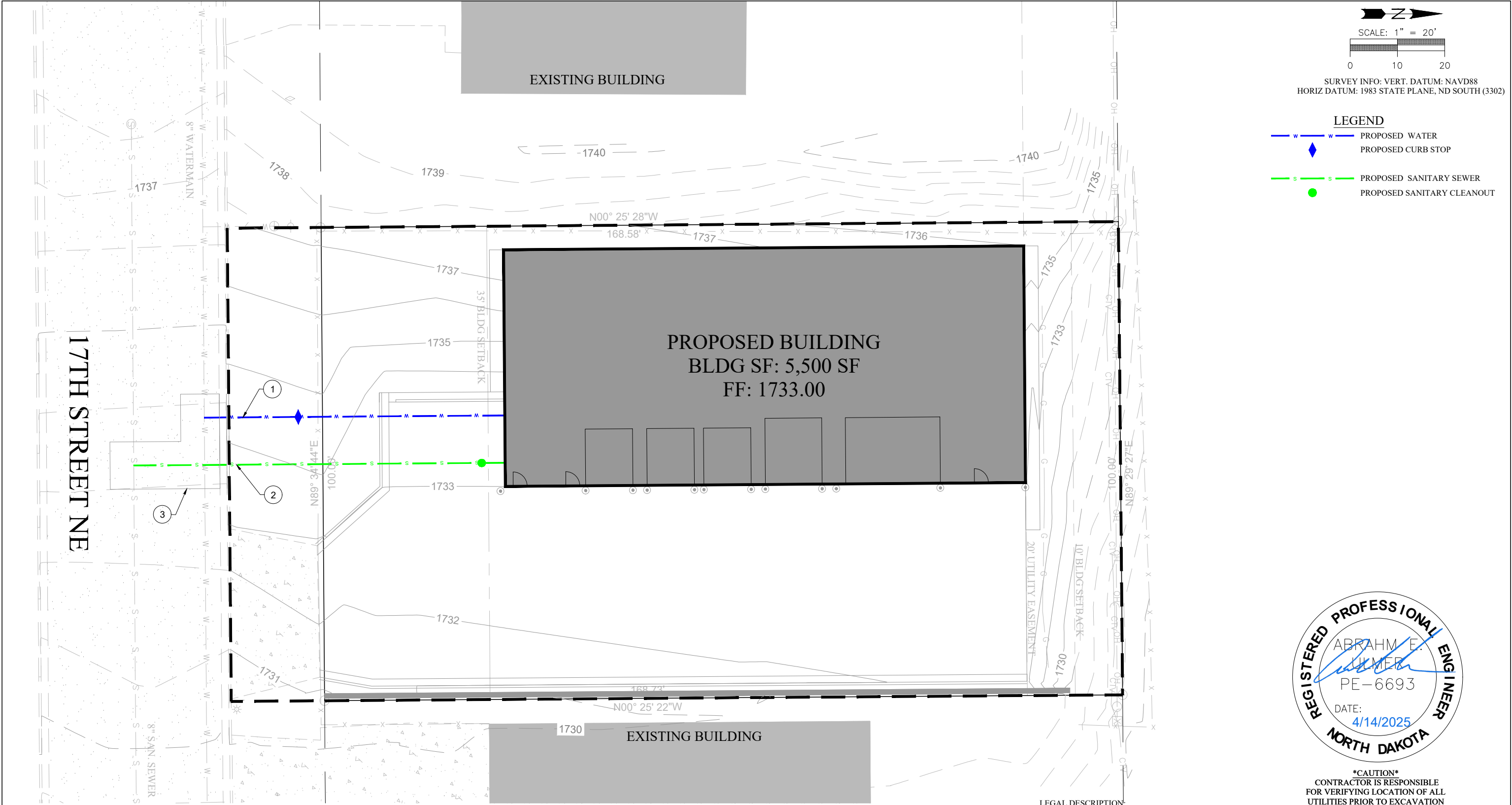
Independent Land Surveying & Engineering Inc.
4215 OLD RED TRAIL NW, Mandan, ND 58554
Phone: 701-663-5184 Cell: 701-220-0968 PROJ # 24186

RENNER SHOP

PROPOSED CONDITIONS

914 17TH STREET NE
MANDAN NORTH DAKOTA
LOT 6, BLOCK 2, DENISONS IND PARK REPLAT BLOCK 2
SHEET 3 OF 6

APRIL, 2025



- # CALL OUTS:
- WATER IMPROVEMENTS:
1. CONNECT TO EXISTING WATERMAIN, INSTALL 1" WATER CONNECTION, 64 LF 1" WATER SERVICE PIPE, & 1" CURB STOP & BOX
- SANITARY SEWER SERVICE:
2. CONNECT TO EXISTING SEWER MAIN & INSTALL 4" WYE OR INSERTA TEE & 4" BEND, & INSTALL 79 LF 4" SEWER SERVICE PIPE @ 2.00% MIN. SLOPE & INSTALL 4" CLEANOUT WITH CASTING.
- MISCELLANEOUS:
3. REMOVE & REPLACE ASPHALT & CURB AND GUTTER AS NECESSARY

APPROXIMATE QUANTITIES		
Spec No.	Misc. Items & Pavement Items	Quantity
1	Water Service Connection	1 EA
2	1" Water Service Pipe	64 LF
3	1" Curb Stop & Box	1 EA
4	Wye or Inserta Tee	1 EA
5	4" Sanitary Service Pipe	79 LF
6	4" Cleanout & Casting	1 EA

Independent Land Surveying & Engineering Inc.

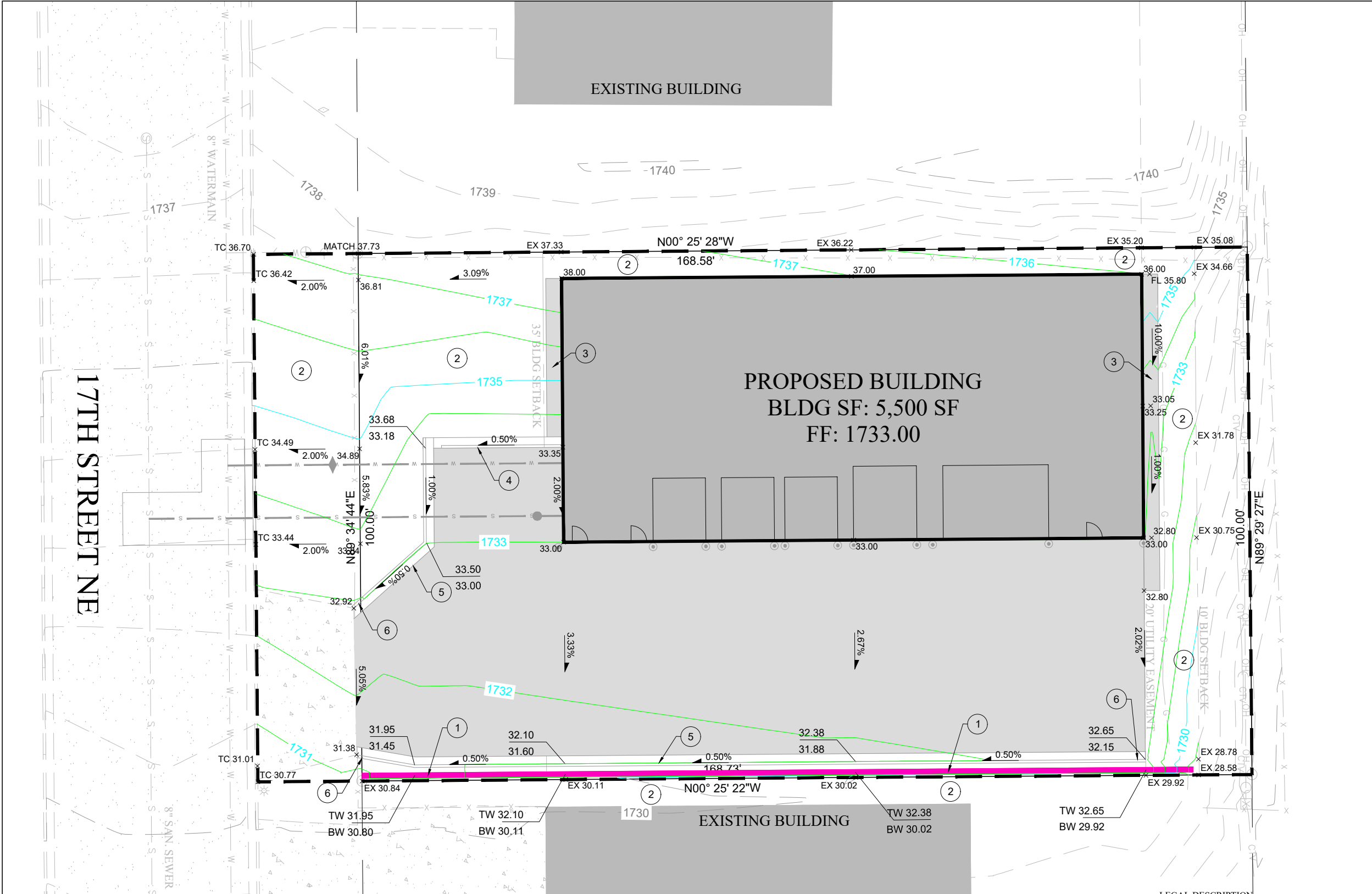
4215 OLD RED TRAIL NW, Mandan, ND 58554
Phone: 701-663-5184 Cell: 701-220-0968 PROJ # 24186

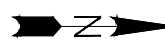
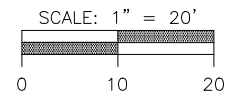
RENNER SHOP

PROPOSED UTILITIES

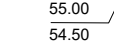
914 17TH STREET NE
MANDAN NORTH DAKOTA
LOT 6, BLOCK 2, DENISONS IND PARK REPLAT BLOCK 2
SHEET 4 OF 6

APRIL, 2025




SCALE: 1" = 20'


SURVEY INFO: VERT. DATUM: NAVD88
HORIZ DATUM: 1983 STATE PLANE, ND SOUTH (3302)

LEGEND
 PROPOSED CURB & GUTTER
 1810 PROPOSED CONTOUR
 55.00 TOP OF CURB ELEVATION
54.50 FLOW LINE ELEVATION
 x 57.26 SPOT ELEVATION
(FLOWLINE ELEVATION UNLESS OTHERWISE NOTED).
 0.75% SLOPE ARROW
 PROPOSED BLOCK RETAINING WALL

- # CALL OUTS:
1. PROPOSED BLOCK RETAINING WALL
 2. GRADE AREA FOR POSITIVE DRAINAGE
 3. PROPOSED VALLEY GUTTER FOR ROOF DOWNSPOUTS
 4. PROPOSED REVERSE CURB AND GUTTER
 5. PROPOSED STANDARD CURB AND GUTTER
 6. 2" BULLNOSE CURB TRANSITION

APPROXIMATE QUANTITIES		
Spec No.	Misc. Items & Pavement Items	Quantity
1	Unclassified Excavation	107 CY
2	Borrow Material	445 CY

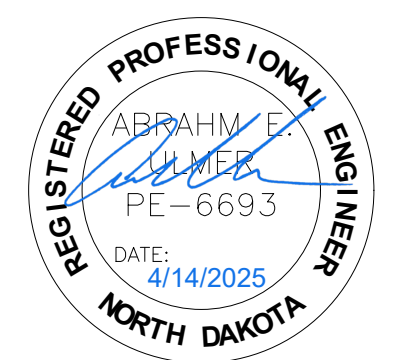
*Dirtwork calculations were based on removal of 4" existing gravel compared to proposed surface with 6" concrete with 6" aggregate base. No shrinkage was calculated for the Borrow material needed.

LEGAL DESCRIPTION:
LOT 6, BLOCK 2,
DENISONS IND. PARK REPLAT OF BLOCK 2
Lot Area: 16,865 SF

ZONING:
MC - INDUSTRIAL

SETBACKS:
FRONT: 35'
SIDE: 0'
REAR: 10'

OWNER:
NICODEMUS P & SHEILA RENNER
710 39TH STREET N
MANDAN, ND 58554

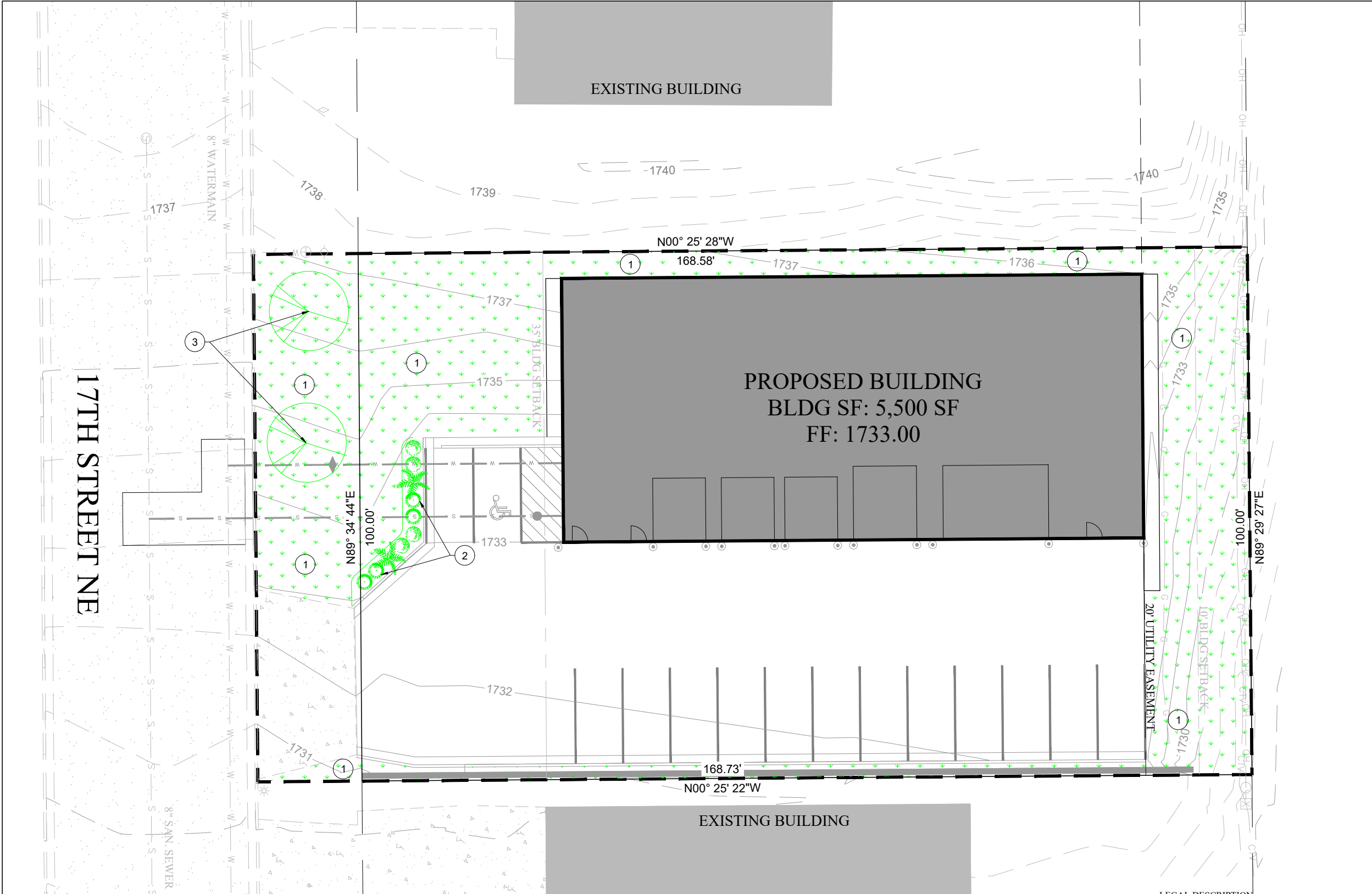


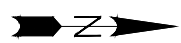
CAUTION
CONTRACTOR IS RESPONSIBLE
FOR VERIFYING LOCATION OF ALL
UTILITIES PRIOR TO EXCAVATION

**Independent Land Surveying
& Engineering Inc.**
4215 OLD RED TRAIL NW, Mandan, ND 58554
Phone: 701-663-5184 Cell: 701-220-0968 PROJ # 24186

RENNER SHOP
PROPOSED GRADING
914 17TH STREET NE
MANDAN NORTH DAKOTA
LOT 6, BLOCK 2, DENISONS IND PARK REPLAT BLOCK 2
SHEET 5 OF 6

APRIL, 2025





SCALE: 1" = 20'

0

10

20

SURVEY INFO: VERT. DATUM: NAVD88
HORIZ DATUM: 1983 STATE PLANE, ND SOUTH (3302)

LEGEND

SHRUBS / TREES:

FRITSCH SPIREA
H=2-3', S=3-5'
Spiraea fritschiana
SIZE=2 GAL, QUANTITY=4

TINY WINE NINEBARK
H=3-4', S=3-4'
Phsocarpus opulifolius
SIZE=2 GAL, QUANTITY=2

MOPS MUGO PINE
H=3-4', S=3-4'
Pinus mugo 'Mops'
SIZE=2 GAL, QUANTITY=4

HARVEST GOLD LINDEN
H=40', S=30'
Tilia cordata x mongolica
SIZE=1" CALIPER, QUANTITY=2

PROPOSED GRASS

CALL OUTS:

1. PLACE 6" TOPSOIL, SEEDING, & HYDROMULCH

2. TREE PLANTING (TYPICAL)

3. SHRUB PLANTING (TYPICAL)

APPROXIMATE QUANTITIES		
Spec No.	Misc. Items & Pavement Items	Quantity
1	Place Topsoil, Seeding, & Mulch	630 SY
2	Trees	2 EA
3	Shrubs	10 EA

LEGAL DESCRIPTION:
LOT 6, BLOCK 2,
DENISONS IND. PARK REPLAT OF BLOCK 2
Lot Area: 16,865 SF

ZONING:
MC - INDUSTRIAL

SETBACKS:
FRONT: 35'
SIDE: 0'
REAR: 10'

OWNER:
NICODEMUS P & SHEILA RENNER
710 39TH STREET N
MANDAN, ND 58554

CAUTION
CONTRACTOR IS RESPONSIBLE
FOR VERIFYING LOCATION OF ALL
UTILITIES PRIOR TO EXCAVATION

Independent Land Surveying
& Engineering Inc.

4215 OLD RED TRAIL NW, Mandan, ND 58554
Phone: 701-663-5184 Cell: 701-220-0968 PROJ # 24186

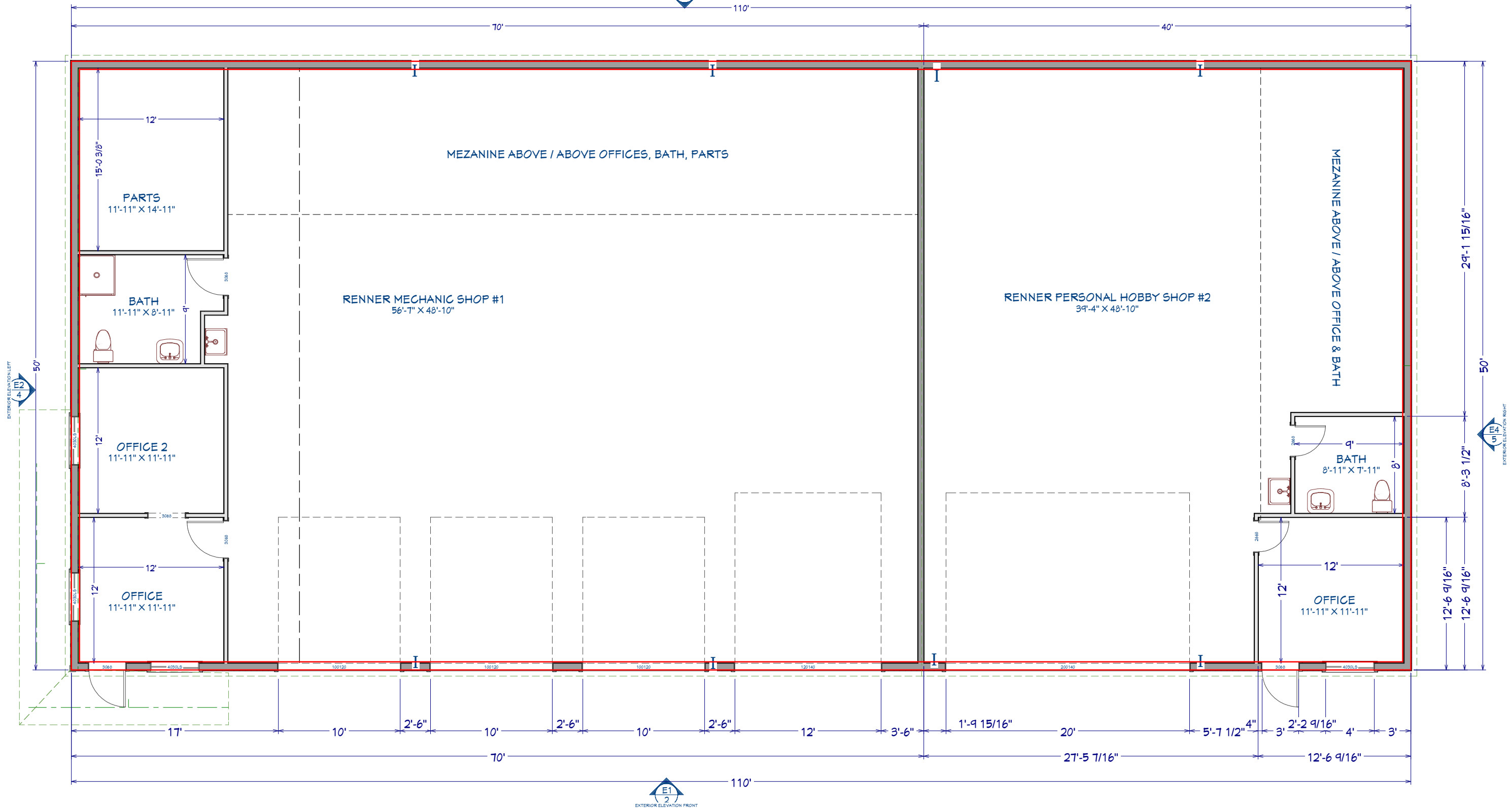
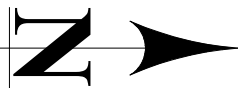
RENNER SHOP

PROPOSED LANDSCAPE

914 17TH STREET NE
MANDAN NORTH DAKOTA
LOT 6, BLOCK 2, DENISONS IND PARK REPLAT BLOCK 2
SHEET 6 OF 6

APRIL, 2025

Page 11 of 17



4720 19th ST SE
MANDAN, ND 58554
P) 701-663-3446
F) 701-223-2640

Drawn By:
Chad Dietrich

PROJECT TITLE

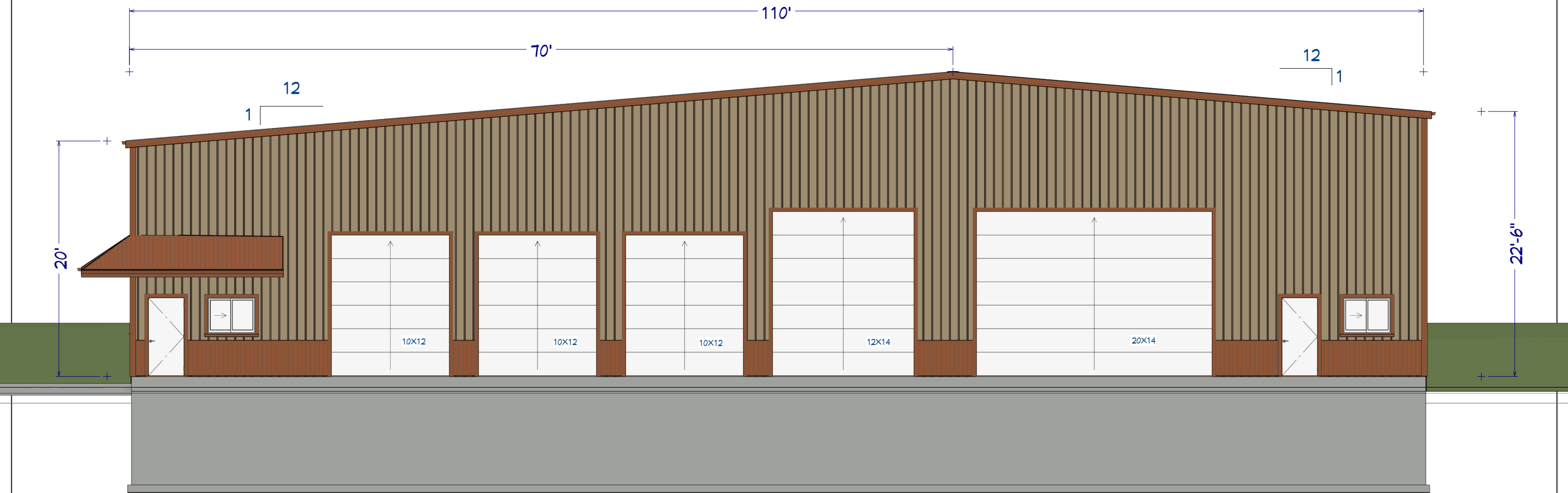
Nick Renner Mechanic / Hobby Shop
914 17th ST NE
Mandan, ND 58554

SCALE
1/8"=1'-0"

DATE:
04/14/25

F1

CHIEF METAL BUILDING:
"SIERRA MADRE" CS WALL PANELS
"CHEROKEE RED" TRIM, CANOPY, WAINSCOTT
"GALVALUME" CS ROOF



Exterior Elevation Front



4720 19th ST SE
MANDAN, ND 58554
P) 701-663-3446
F) 701-223-2640

Drawn By:
Chad Dietrich

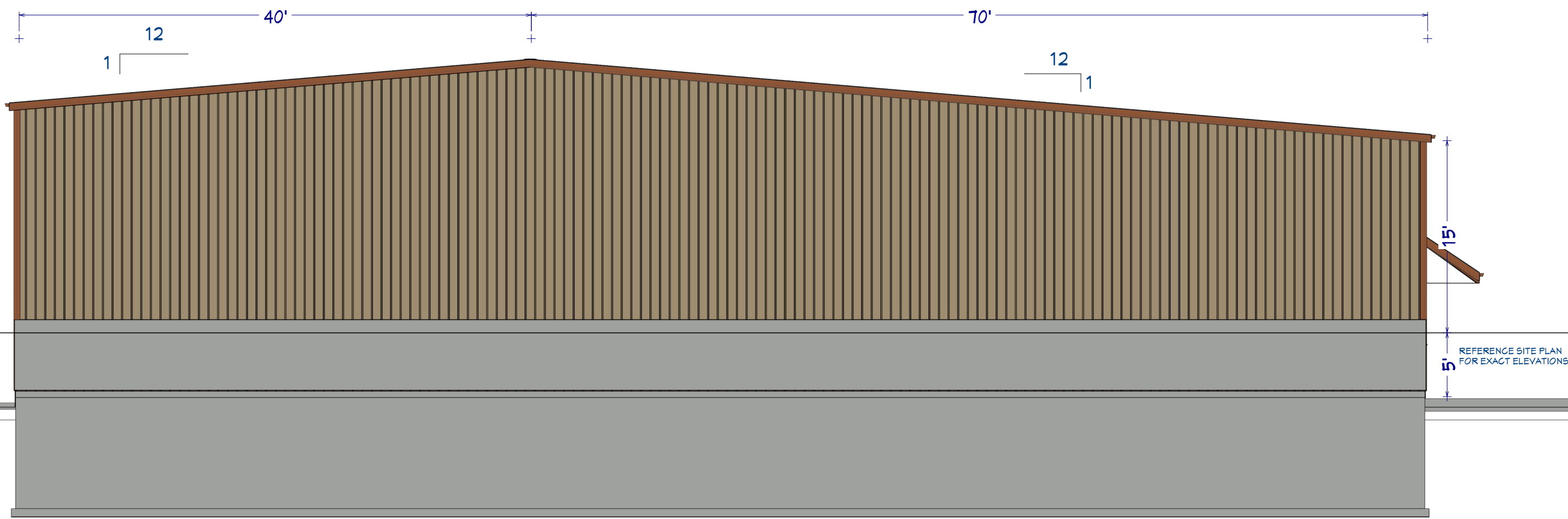
PROJECT TITLE

Nick Renner Mechanic / Hobby Shop
914 17th ST NE
Mandan, ND 58554

SCALE
1/8"=1'-0"

DATE:
04/14/25

E1



Exterior Elevation Back



4720 19th ST SE
MANDAN, ND 58554
P) 701-663-3446
F) 701-223-2640

Drawn By:
Chad Dietrich

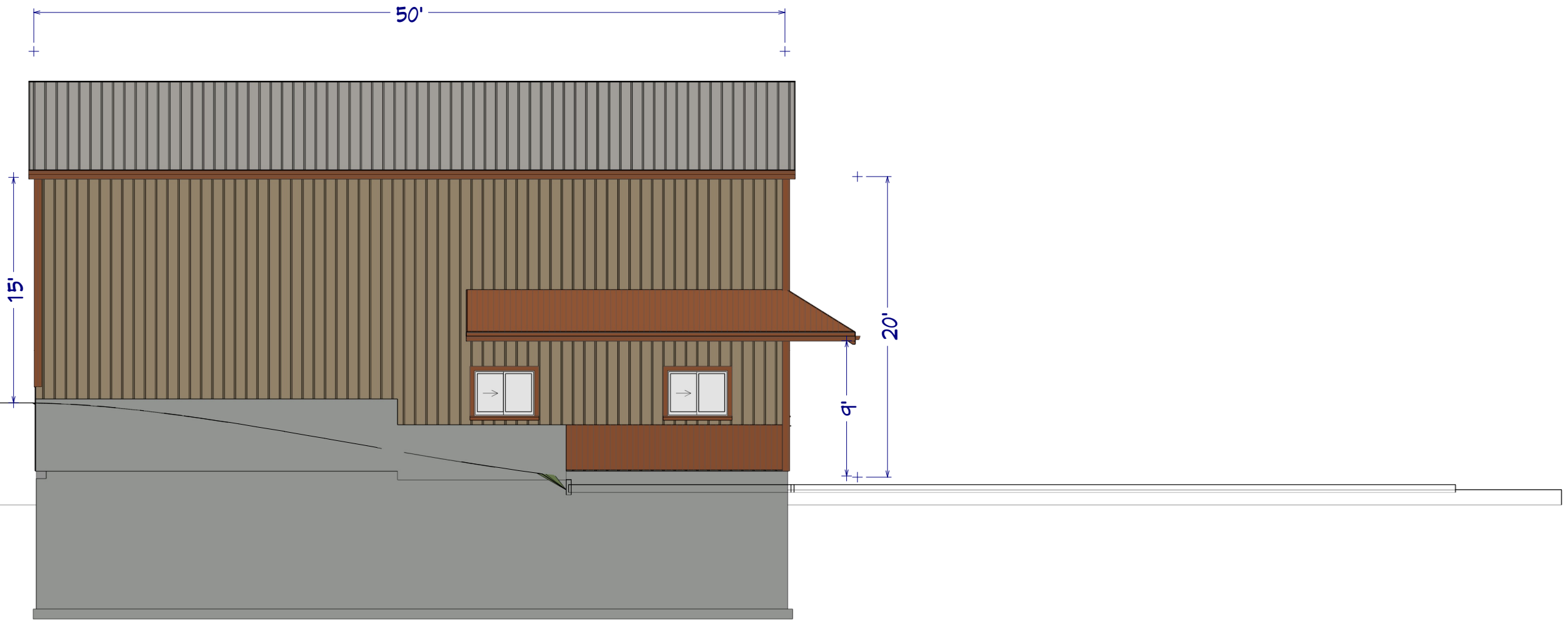
PROJECT TITLE

Nick Renner Mechanic / Hobby Shop
914 17th ST NE
Mandan, ND 58554

SCALE
1/8"=1'-0"

DATE:
04/14/25

E2



Exterior Elevation Left



4720 19th ST SE
MANDAN, ND 58554
P) 701-663-3446
F) 701-223-2640

Drawn By:
Chad Dietrich

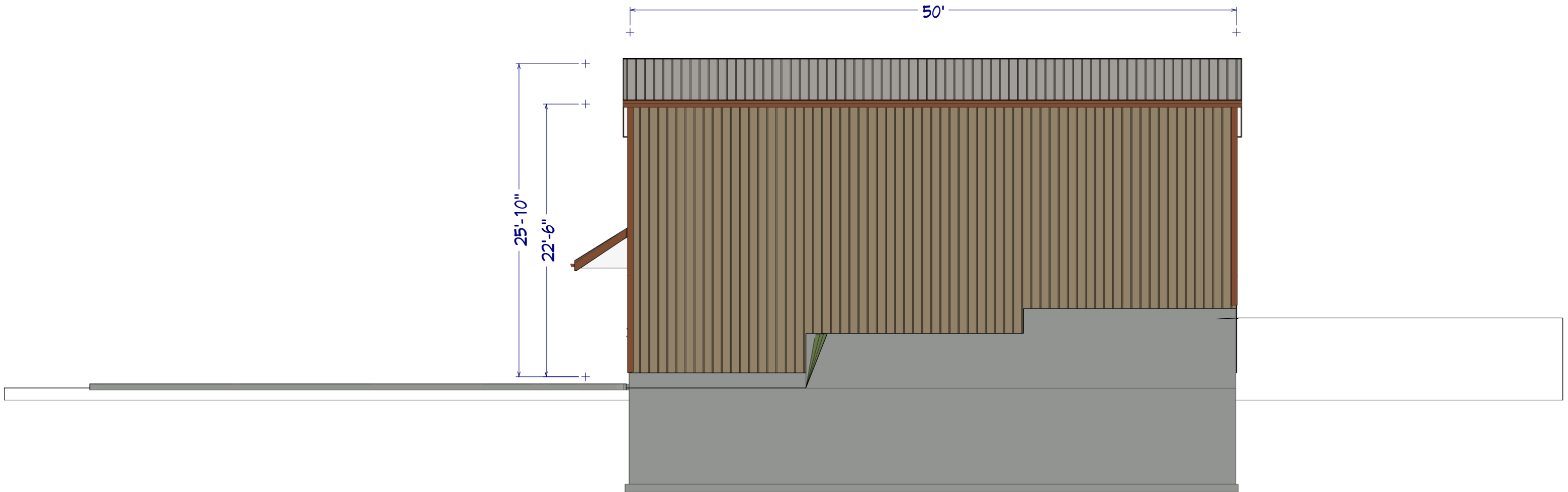
PROJECT TITLE

Nick Renner Mechanic / Hobby Shop
914 17th ST NE
Mandan, ND 58554

SCALE
1/8"=1'-0"

DATE:
04/14/25

E3



Exterior Elevation Right

 CREATIVE CONSTRUCTION 663-3446 Bismarck - Mandan	4720 19th ST SE MANDAN, ND 58554 P) 701-663-3446 F) 701-223-2640	Drawn By: Chad Dietrich	<u>PROJECT TITLE</u>	Nick Renner Mechanic / Hobby Shop 914 17th ST NE Mandan, ND 58554	<u>SCALE</u> 1/8"=1'-0"	<u>DATE:</u> 04/14/25		E4
--	---	------------------------------------	-----------------------------	--	------------------------------------	----------------------------------	--	-----------



Camera 1



4720 19th ST SE
MANDAN, ND 58554
P) 701-663-3446
F) 701-223-2640

Drawn By:
Chad Dietrich

PROJECT TITLE

Nick Renner Mechanic / Hobby Shop
914 17th ST NE
Mandan, ND 58554

SCALE
NTS

DATE:
04/14/25

3D