



**MANDAN ARCHITECTURAL REVIEW
COMMISSION
AGENDA
MAY 27, 2025
VETERAN'S CONFERENCE ROOM
CITY HALL, 205 SECOND AVENUE NW
1:00 PM
WWW.CITYOFMANDAN.COM**

<i>The public may access the Microsoft Teams meeting online at:</i>	
<i>Join Microsoft Teams Meeting</i>	
Join the meeting now	
<i>Meeting ID: 299 418 223 578 1</i>	
<i>Passcode: U5Ny6Sh6</i>	

A. ROLL CALL

B. MINUTES

1. May 13th MARC Meeting Minutes

C. OLD BUSINESS

D. NEW BUSINESS

1. Proposal of an Expansion at ABRA 3729 Memorial Hwy, Mandan

E. OTHER BUSINESS

F. UNFINISHED BUSINESS

G. ADJOURN

MARC Members

Matthew Bradley - President
Victoria Vayda-Hammond - Vice President
Jordan Singer - Building Official
Jarek Wigness - City Engineer
Mitch Bitz - Fire Chief

Support Staff (City of Mandan)

Brittany Thomas - Permit Technician
Madison Cermak - Business Development

Mandan Architectural Review Commission
Agenda]
May 27, 2025
Page 2 of 2

Shane Weltikol - Resident Kendra Rennich - Resident Kari Nardello - Resident Ryan Welder - Resident
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Please note: If any commission member would like additional information, please feel free to contact the Building Inspections Department at 667-3230 prior to the meeting.

May 13th MARC Meeting Minutes

Meeting roll call members, Matthew Bradley, Jordan Singer, Victoria Vayda-Hammond, Ryan Welder, Kari Nardello, Shane Weltikol, Jackson Mills.

Also joining us today is Abe Ulmer, Jennifer Kraus, Todd Brady, Daren Kautzman, and Scott Rud.

Meeting Minutes

Vayda-Hammond made a motion to approve the April 22nd MARC Meeting Minutes.

Welder seconded the motion.

New Business

Project at 400 E Main Street, Napa Auto Parts is redoing the outside of the store. The bottom of the building will be sided with Wainscoting concrete blocks, from the blocks up will be vertical standing metal running up for cleaner siding, and right under the signage will be blue. On the front entrance, the farther left window will be covered up and the door will come out and a double door with ADA Compliance will be put in place, the right and left windows to the door will stay. The South side of the building will mock the windows on the west side and have an aluminum awning in the color black and that will go over the windows one foot on each side on the West, Southwest, and South side, it will light up the front of the building and clean it up. The canopy will be removed, and the wall will be built up halfway. Clean look all the way down the building. There are electrical things hanging off the building, but it will be removed/hidden. This project is only an exterior remodel. All new signs will also be placed on the West and South side and will be flushed with the building.

Weltikol made a motion to approve the project.

Vayda-Hammond seconded the motion.

The vote was unanimously approved.

In more New Business, Ideal Image Dentistry would like to take over the building at 500 E Main Street, with a full demolition and removal of all parking lots and will be starting new. They will be keeping the water and sewer service. It will be a 5400 square foot building. Removal of the approach on the east side, and replace with curb, gutter, and a boulevard, the main access will be from Main Street, and the alley access will still be open. The parking will be along Main Street and 5th avenue, pavement and perpendicular parking will also be added along the backside of the building. Metal siding will be used and on the east side a metal awning will be placed. Landscape along the parking lot with shrubs along the

building and add trees in the boulevard. The dumpster enclosure will also match the building once the color is decided. It will also be ADA compliance.

There is some discussion on the exact location of the building, of where it needs to be placed and how far to the front of main street it should be.

Weltikol motions to table the discussion until the next meeting, which is May 27th.

Bradley seconded the motion.

The vote was unanimously approved.

The meeting was adjourned.



ARCHITECTURAL REVIEW COMMISSION APPLICATION

Applications need to be submitted to the Building Inspections Department no later than 12 p.m. (noon) on the Wednesday prior to the scheduled meeting at which consideration is desired. Digital submittals will be accepted. If paper copies are submitted a copy of the following information is required. They shall be no larger than 11 x 17 and need to have complete sets, drawn to scale. Incomplete applications will not be accepted. If you have any question call the Building Inspections department at 701-667-3230.

1. Description of Proposed Activity: ABRA - Building & Parking lot Expansion
2. Name of Owner: Buller Brothers LLC
Mailing Address: 1901 E. Bismarck Expressway, Bismarck, ND 58504
Phone (Cell) 701-400-3387 (Office) 701-663-2272
3. Name of Architect if applicable: Civil Eng - ILSE Inc. - Abe Ulmer
Mailing Address: 4215 Old Red Trail NW, Mandan, ND 58554
Phone (Cell) 701-220-0968 Office) 701-663-5184
4. Name of Contractor: Northwest Contracting Inc. - Tyler Famias
Mailing Address: 2840 Valley Forge St, Bismarck, ND 58503
Phone (Cell) 701-319-6339 (Office) 701-255-7727
5. Parcel Address: 3729 Memorial Hwy SE
6. Legal Description:
Lot 2 Block 1 Addition Midway 10th Addl.
Section 36 Township 139 N Range 81 W
7. Zoning: CC - Commercial - Light Industrial Transition
8. Special Purpose District: _____
9. Existing Land Use: ABRA - Auto Body Mandan
10. Lot Size (Sq Ft) 612,009 SF
Existing Bldg Area (Sq Ft) 11,146 SF
Proposed Bldg Area (Sq Ft) Addition = 6,930 SF Total = 18,076 SF
11. Estimated Cost of Project: \$2,450,000
➤ Is this project receiving incentives from the City of Mandan? Yes ___ No ___
If you are receiving incentives please indicate which programs have been applied for.

I understand the procedures for Architectural Review and have received the checklist (see attached sheet) to be followed for approval as set forth in Chapter 111-1 of the Mandan City Code.

Approvals are subject to compliance with Federal, State and Local regulations.

Applicant: [Signature] Date: 5/19/25



CHECK LIST FOR ARCHITECTURAL REVIEW COMMISSION APPLICATION

Applications need to be submitted to the Building Inspections Department no later than 12 p.m. (noon) on the Wednesday prior to the scheduled meeting at which consideration is desired. Digital submittals will be accepted. If paper copies are submitted ten (10) copies of the following information are required. Eight (8) copies shall be no larger than 11 x 17 and two copies shall be complete sets, drawn to scale. Incomplete applications will not be accepted. If you have any question call the Building Inspections department at 701-667-3230.

A. Plot Plan - Drawn to Scale

- X 1. Boundaries-Indicate North Arrow
- X 2. Road(s) fronted upon
- X 3. Utility lines or easements-existing and planned
- X 4. Major topographic features-existing and planned-drainage
- X 5. Landscaping and major vegetative cover-existing and planned
- X 6. Location of structure(s) on site; existing and proposed
 - a. Includes dimensions
 - b. Includes set back distances
 - c. Includes exterior security and area lighting, fire hydrants (must indicate if 350 feet or less from proposed project), etc.
 - d. Dumpsters and screen walls
- X 7. Vehicular and pedestrian plans.
 - a. Parking. Include number of spaces including handicapped parking, location, hard surfacing, etc.
- X 8. Signage

B. Photos and/or Samples of Proposed Building Exterior, Including Exterior Colors

C. Elevation Architectural Plans to Scale

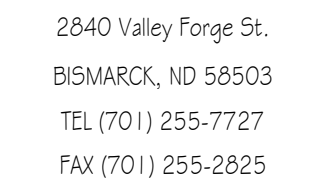
- X 1. Elevation drawings to include ALL sides.

D. Two Copies of the Storm Water Management Systems. This must be certified by an engineer. If not applicable, submit in writing why you think it should not affect the existing system.

E. The owner, whenever possible, and the contractor or a representative needs to be present at the scheduled meeting.

Note: If your project is for exterior improvements to a building with no additions, driveway, sidewalk, landscaping, or grading to the lot only the information in sections B and C are required. Incomplete applications will not be accepted.

The Architectural Review Board has a regularly scheduled meeting every 2nd and 4th Tuesday at 1 p.m. in City Hall. Applications may be accepted and/or scheduled up to the prior Wednesday at 12 p.m. (noon).



www.northwestcontracting.com

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NOT FOR
CONSTRUCTION
01/21/2025

SHEET NUMBER

A2.1



2840 Valley Forge St.
BISMARCK, ND 58503
TEL (701) 255-7727
FAX (701) 255-2825

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Project Name

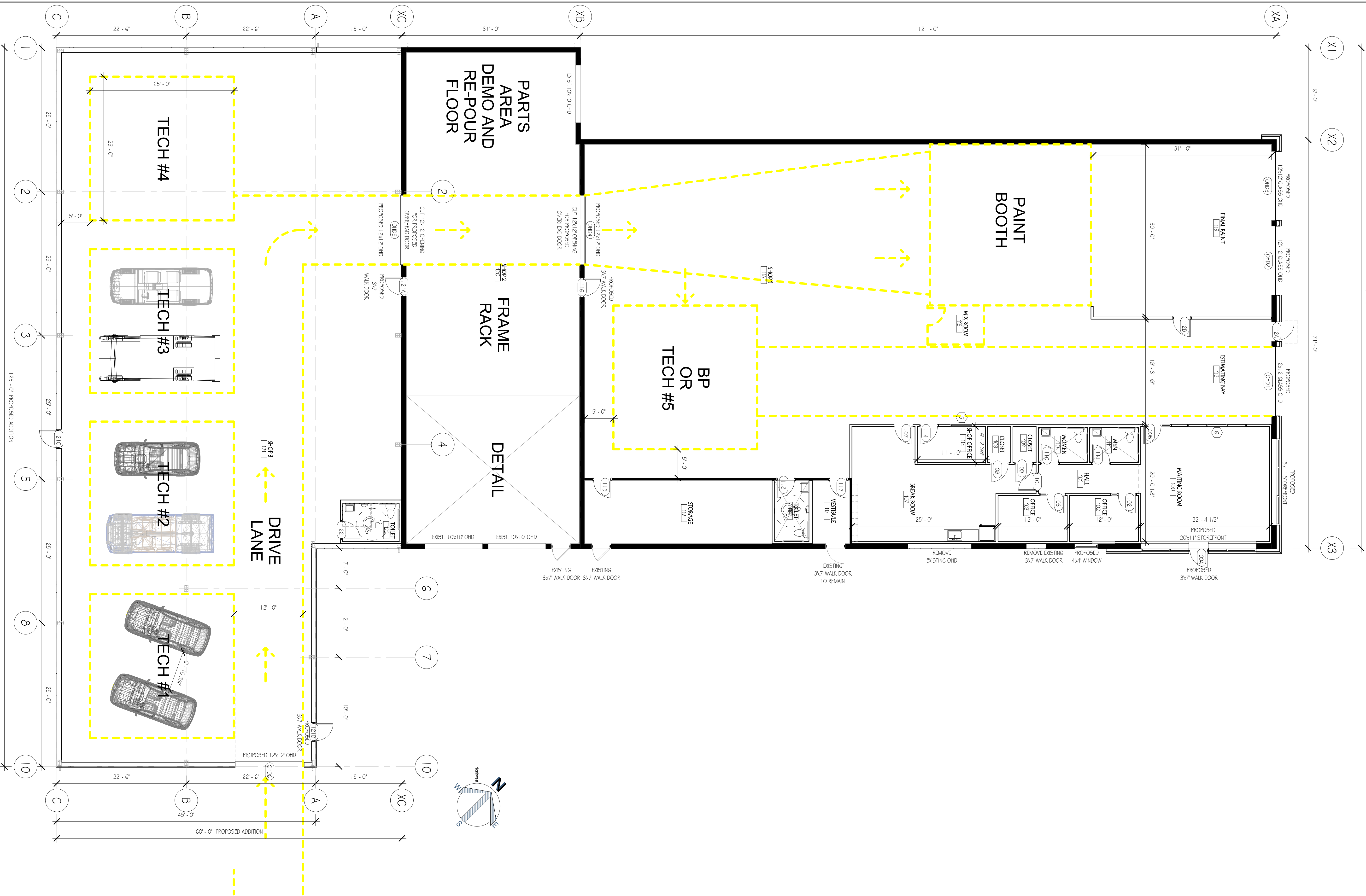
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FLOOR PLAN

NOT FOR
CONSTRUCTION
01/28/2025

PROJECT NO:	Project Number
DRAWN BY:	Author
DATE:	Issue Date
SHEET NUMBER	

A1.1



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REVISIONS

Project Name

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FINISH PLAN

NOT FOR
CONSTRUCTION
02/21/2025

PROJECT NO:	Project Number
DRAWN BY:	Author
DATE:	Issue Date
SHEET NUMBER	

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NOT FOR
CONSTRUCTION
02/21/2025

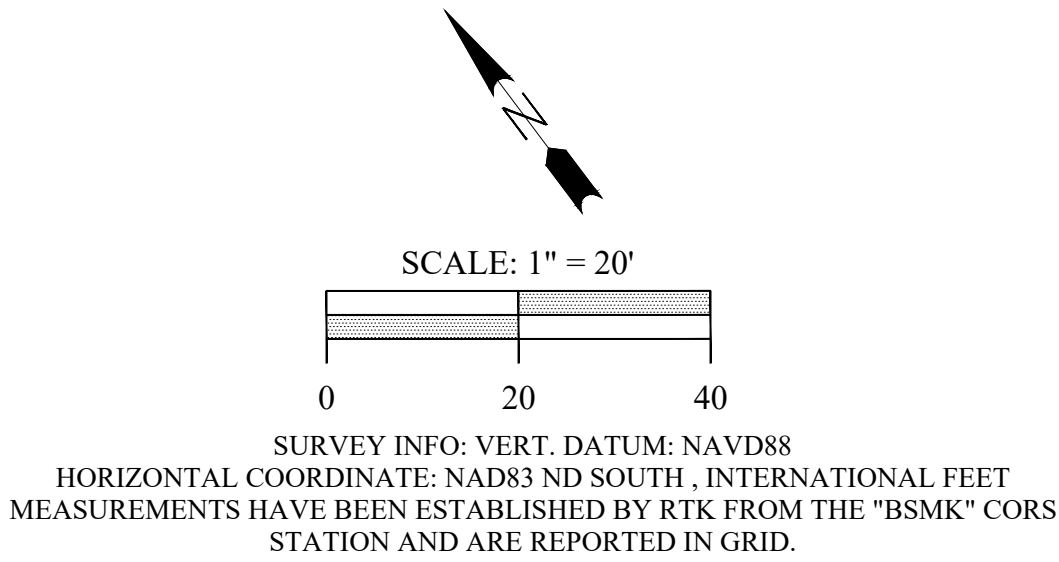
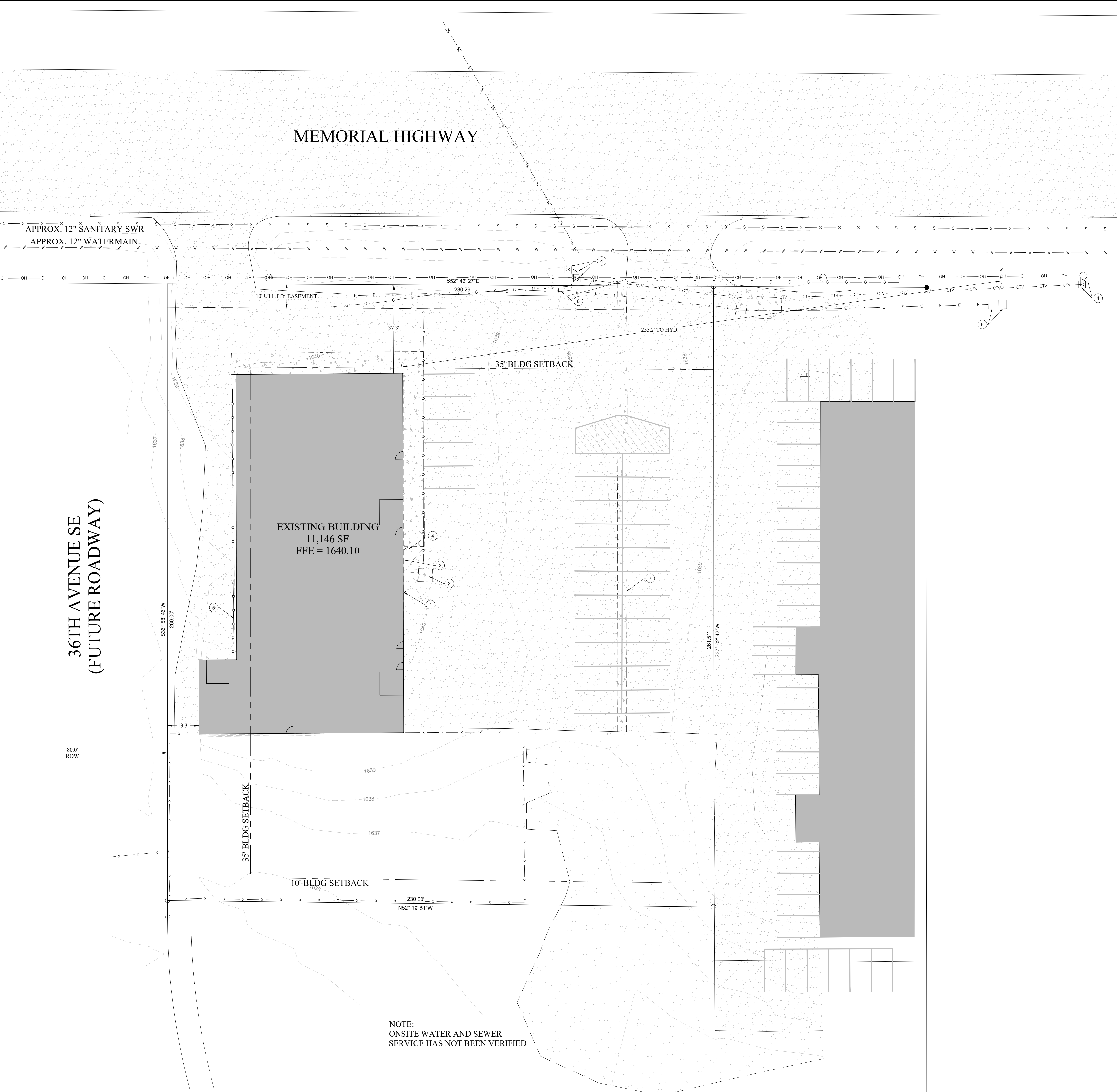
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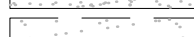
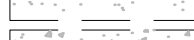
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Technical drawings of six window frame types (I to VI) showing dimensions and materials. The drawings are arranged in two rows of three. Each drawing includes dimensions for height, width, and depth, as well as material specifications.

- FRAME TYPE I:** AL / GLASS. Height: 7'-2". Width: 3'-4". Depth: 7'-0".
- FRAME TYPE 2:** HOLLOW METAL. Height: 7'-2". Width: 3'-4". Depth: 7'-0".
- FRAME TYPE 3:** HOLLOW METAL. Height: 7'-2". Width: 4'-6". Depth: 7'-0".
- FRAME TYPE 4:** HOLLOW METAL. Height: 7'-2". Width: 5'-0". Depth: 7'-0".
- FRAME TYPE 5:** HOLLOW METAL. Height: 3'-2". Width: 4'-0". Depth: 4'-0".
- FRAME TYPE 6:** HOLLOW METAL. Height: 2'-2". Width: 9'-0". Depth: 5'-0".

Page 10 of 17



LEGEND			
	EXISTING SANITARY MANHOLE		EXISTING CONTOUR
	EXISTING SANITARY CLEANOUT		EXISTING ASPHALT
	EXISTING POWER POLE		EXISTING GRAVEL
	EXISTING SIGN		EXISTING CONCRETE
	EXISTING TV/TELEPHONE PEDESTAL		EXISTING BUILDING
	EXISTING FIRE HYDRANT		
	EXISTING STORM SEWER		
	EXISTING SANITARY SEWER		
	EXISTING WATERMAIN		
	EXISTING OVERHEAD POWER		
	EXISTING UNDERGROUND GAS		
	EXISTING UNDERGROUND ELECTRIC		
	EXISTING UNDERGROUND CTV		
	EXISTING FENCE		

GENERAL NOTES:

SPECIFICATIONS: All work shall conform to the Project Manual and Specifications as supplemented by or modified by the following plan notes. All work in the City of MandaN Right of Way shall conform to the City of MandaN Construction Specifications and Details.

PERMITS: The Contractor is required to obtain all permits that may be required prior to construction. The Contractor may also be required to complete and file a Notice of Intent (NOI) with the North Dakota Dept. of Environmental Quality if site disturbance is over 1 Acre. The Contractor shall also notify the City of Bismarck prior to working within the City ROW.

CONTRACTOR PARKING STAGING AREA: The Contractor shall not use private property to park vehicles, store materials, or use as a staging area without written permission from the owner of that property. Any damages to private property shall be repaired to the satisfaction of the owner by and at the Contractor's expense.

BENCHMARK: Benchmarks and survey Control points for this project are shown on the plan or will be established by the Engineer. Care shall be taken as to not cover, remove, damage, obscure, move or destroy set benchmarks, lath, hubs, property pins, or other survey monuments. Any damaged or destroyed control points shall be replaced at the Contractor's expense.

SURVEYING: The Contractor shall be responsible for all layout surveying and staking needed for construction activities. Project construction staking shall be provided by the Contractor. Any damaged or destroyed control points will be replaced by the Engineer at the Contractor's expense. Electronic files and control point information will be available through the Engineer for use of grading contractors utilizing GPS equipment.

PROTECTION OF EXISTING UTILITIES: The Contractor is advised that existing utilities are shown in their approximate location and have been taken from information supplied by North Dakota One Call and documents of record. The contractor shall exercise care in construction operations to ensure that existing utilities, pavement, trees, shrubs, grasses, seeded areas, fences, signs, conduits, private irrigation systems, and other site improvements located on or around the construction limits are not disturbed. The Contractor is responsible for locating and protecting all existing utilities. The Contractor shall be responsible for repairing any damage to existing utilities caused by the construction process. Any discrepancies shall immediately be brought to the attention of the Architect/Engineer.

CALL OUTS:

- EXISTING SANITARY CLEANOUT
- EXISTING TRANSFORMER
- EXISTING GAS METER
- EXISTING TELEPHONE PEDESTAL
- EXISTING GUARD RAIL
- EXISTING JUNCTION BOX
- EXISTING CONCRETE VALLEY GUTTER

NOTE:
ONSITE WATER AND SEWER
SERVICE HAS NOT BEEN VERIFIED

LEGAL DESCRIPTION: LOT 2, BLOCK 1, MIDWAY 10TH ADD. Lot Area: 1.34 ACRES	SETBACKS: FRONT: 35' SIDE: 0' REAR: 10'	*CAUTION* CONTRACTOR IS RESPONSIBLE FOR VERIFYING LOCATION OF ALL UTILITIES PRIOR TO EXCAVATION
ZONING: CC - COMMERCIAL/LIGHT INDUSTRIAL TRANSITION	OWNER: BULLER BROTHERS LLC 1901 E BISMARCK EXPY BISMARCK, ND 58504	

REVISIONS

REV#	DESCRIPTION	BY	DATE

ABRA AUTO BODY MANDAN

3729 MEMORIAL HWY SE
LOT 2, BLOCK 1, MIDWAY 10TH ADDITION
MANDAN, NORTH DAKOTA

Independent Land Surveying & Engineering Inc.

4215 OLD RED TRAIL NW, Mandan, ND 58554
Phone: 701-663-5184 PROJ # 24203

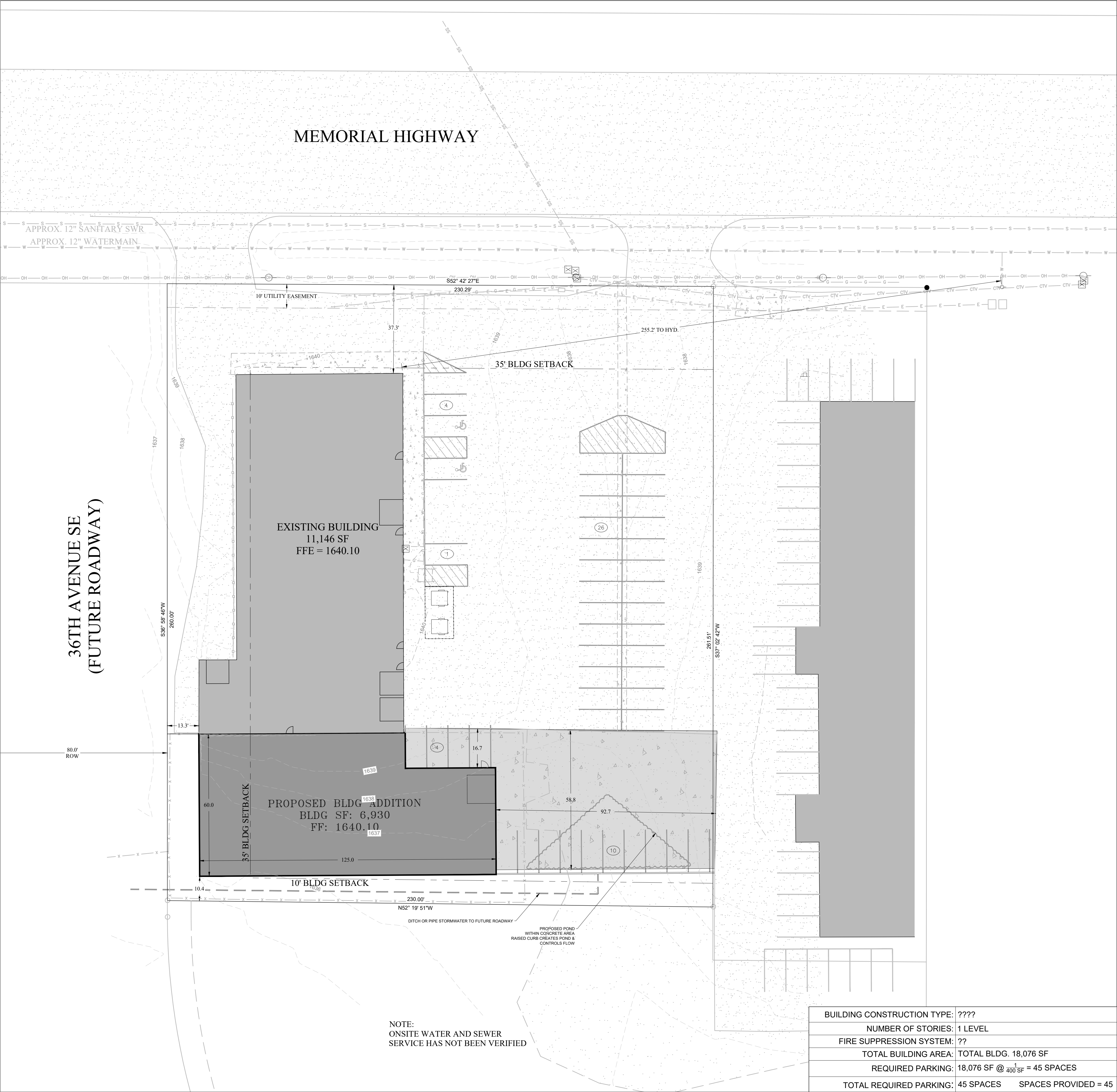
PRELIMINARY

REGISTERED PROFESSIONAL ENGINEER
ABRAHAM E. BULLER
NOT FOR CONSTRUCTION
DATE:

C100

SHEET

EXISTING CONDITIONS





BLACK PRE-FINISHED
METAL ROOF CAP

HARRYWOOD PLUS -
PRE-FINISHED METAL PANEL

COOL SOLAR WHITE
PRE-FINISHED METAL
PANEL

ELDORADO STONE -
STACKED STONE

CLEAR ANODIZED
STOREFRONT / OH
DOORS

HARRYWOOD PLUS

The look of wood, the sustainability of steel!

This European-influenced profile, with its sleek, clean lines, will add a unique touch to your property. Perfectly suited for both contemporary and classic designs, it will inevitably enhance the look of your project, bringing it unrivaled elegance.

Harrywood PLUS seamlessly combines style, strength, and durability. Select from the rich colors in our Wood Collection and revel in the beauty of wood without the concern of maintenance for years to come.

AVAILABLE
COLORS

WOOD COLLECTION



SIGNATURE COLLECTION



INSPIRATION COLLECTION



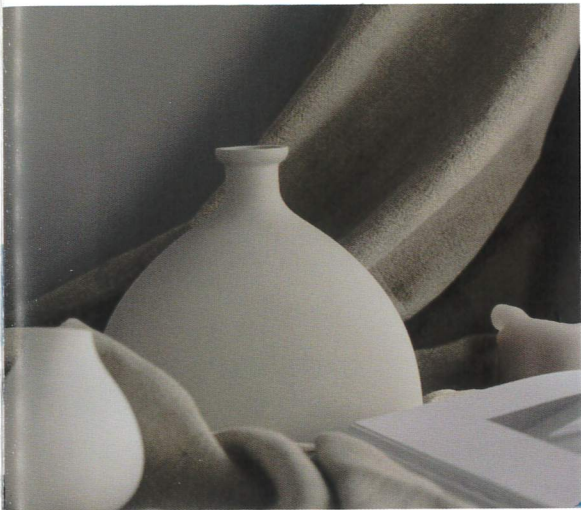
CHARACTERISTICS

- Quick and easy to install
- Vertical, horizontal, or diagonal installation
- 24 or 26 gauges
- 40-year warranty
- Non-combustible
- Vented option

DIMENSIONS



Harrywood PLUS
6 1/16" x 3/8" x 12'



Harrywood PLUS | Smoked Birch

STACKED STONE



ALDERWOOD®



BLACK RIVER®



CASTAWAY®



CHAPEL HILL®



DARK RUNDLE®



DAYBREAK



DRY CREEK®



KORYAK RIDGE™



NANTUCKET



SANTA FE



SILVER LINING

MOUNTAIN LEDGE



DURANGO®



SIERRA®



YUKON

MOUNTAIN LEDGE PANELS



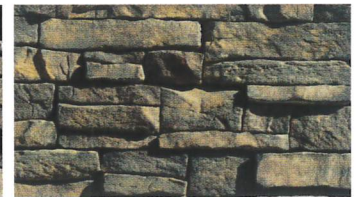
PIONEER



RUSSET®



SILVERTON®



WHISKEY CREEK®



SHADOWALL™ WALL SYSTEM

Combine striking exterior aesthetics with enhanced energy efficiency.

The Shadowall™ wall system is ideal for creating architecturally pleasing exteriors, particularly in instances where energy efficiency inside is a key concern. The system features unique design elements that enhance thermal performance and accommodate added insulation.

Choose the smooth, clean lines of the Shadowall system to add beauty and lifecycle cost savings in applications such as distribution centers, warehouses, and office complexes.

CREATE A UNIFORM APPEARANCE

The Shadowall system is designed with a unique curved profile that creates uniform lines for striking beauty. The fasteners are recessed deep in the panel corrugation to further enhance the system's uniform appearance.

USE FEWER FASTENERS

The Shadowall system is designed to require up to 33% fewer fasteners than most ribbed panels. In addition to lowering installation costs, this also results in reduced heat loss through the wall for enhanced thermal performance.



ADD EVEN MORE ENERGY EFFICIENCY

Using the Shadowall system enables you to add up to 6 inches of fiberglass blanket insulation. The deep 1-7/16-inch corrugations provide strength to resist billowing when fasteners are installed. No additional inside framing is needed to support the insulation.

ASSURE FAST AND ACCURATE INSTALLATION

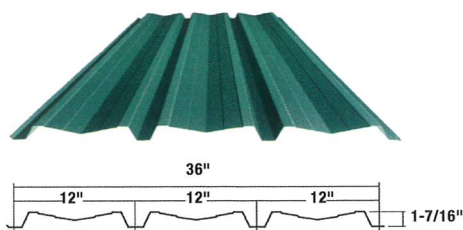
Each Shadowall system panel and supporting structure can be factory punched for greater speed and precision in the installation process. Accurate installation leads to long-term building performance.

ENHANCE WINDOW AND DOOR INSTALLATION

Predesigned and factory-fabricated transition materials assure that windows and doors fit precisely with the Shadowall panels. To enhance energy efficiency, a window frame with a thermal break is also available.

COMPARE OUR WARRANTY

All Shadowall panels feature the high-quality Butler-Cote™ premium finish. Made with a 70 percent Kynar 500® or Hylar 5000® resin, this incredibly durable fluoropolymer coating carries a 25-year finish warranty against blistering, peeling, cracking or chipping of the paint finish.



Wall Systems

SHADOWWALL™, BUTLERIB® II, STYLWALL® II FLAT AND FLUTED WALL SYSTEMS, AND MOD-36
(GABLE TRIM, EAVE TRIM, GUTTER AND DOWNSPOUTS)



BUTLER THERMAWALL™ WALL SYSTEM



INTERIOR FINISH COLORS (NOT FORMULATED FOR EXTERIOR USE)



All color selections are close representations, but are limited by processing and viewing conditions.

Lead times may vary by product selection. Contact your Butler Builder® for more information.

GAUGE AVAILABILITY

- Butlerib® II & Shadowall™ - 26 gauge
- StylWall® II Flat - 26 gauge
- StylWall® II Fluted - 24 gauge
- MOD-36 - 22, 24, 26, and 28 gauge
- Trim - 26 gauge

*Also available in 24 gauge for Butlerib® II, Shadowall™ and MOD-36